



HILLINGDON
LONDON

A

Central & South Planning Committee

Date: **TUESDAY,
6 SEPTEMBER 2011**

Time: **7.00 PM**

Venue: **COMMITTEE ROOM 5
CIVIC CENTRE,
HIGH STREET,
UXBRIDGE
UB8 1UW**

**Meeting
Details:** Members of the Public and
Press are welcome to attend
this meeting

To Councillors on the Committee

John Hensley (Chairman)
Judith Cooper (Vice-Chairman)
Wayne Bridges
Janet Duncan
Neil Fyfe
Dominic Gilham
Robin Sansarpuri
Brian Stead

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further information.**

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This Agenda is available online at:

<http://modgov.hillingdon.gov.uk/ieListMeetings.aspx?CId=123&Year=2011>

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Petitions and Councillors

Petitions - Those who have organised a petition of 20 or more borough residents can speak at a Planning Committee in support of or against an application. Petitions must be submitted in writing to the Council in advance of the meeting. Where there is a petition opposing a planning application there is also the right for the applicant or their agent to address the meeting for up to 5 minutes.

Ward Councillors - There is a right for local councillors to speak at Planning Committees about applications in their Ward.

Committee Members - The planning committee is made up of the experienced Councillors who meet in public every three weeks to make decisions on applications.

How the Committee meeting works

The Planning Committees consider the most complex and controversial proposals for development or enforcement action.

Applications for smaller developments such as householder extensions are generally dealt with by the Council's planning officers under delegated powers.

An agenda is prepared for each meeting, which comprises reports on each application

Reports with petitions will normally be taken at the beginning of the meeting.

The procedure will be as follows:-

1. The Chairman will announce the report;
2. The Planning Officer will introduce it; with a presentation of plans and photographs;
3. If there is a petition(s), the petition organiser will speak, followed by the agent/applicant

followed by any Ward Councillors;

4. The Committee may ask questions of the petition organiser or of the agent/applicant;
5. The Committee debate the item and may seek clarification from officers;
6. The Committee will vote on the recommendation in the report, or on an alternative recommendation put forward by a Member of the Committee, which has been seconded.

About the Committee's decision

The Committee must make its decisions by having regard to legislation, policies laid down by National Government, by the Greater London Authority - under 'The London Plan' and Hillingdon's own planning policies as contained in the 'Unitary Development Plan 1998' and supporting guidance. The Committee must also make its decision based on material planning considerations and case law and material presented to it at the meeting in the officer's report and any representations received.

Guidance on how Members of the Committee must conduct themselves when dealing with planning matters and when making their decisions is contained in the 'Planning Code of Conduct', which is part of the Council's Constitution.

When making their decision, the Committee cannot take into account issues which are not planning considerations such as the effect of a development upon the value of surrounding properties, nor the loss of a view (which in itself is not sufficient ground for refusal of permission), nor a subjective opinion relating to the design of the property. When making a decision to refuse an application, the Committee will be asked to provide detailed reasons for refusal based on material planning considerations.

If a decision is made to refuse an application, the applicant has the right of appeal against the decision. A Planning Inspector appointed by the Government will then consider the appeal.

There is no third party right of appeal, although a third party can apply to the High Court for Judicial Review, which must be done within 3 months of the date of the decision.

Agenda

Chairman's Announcements

- 1 Apologies for Absence
- 2 Declarations of Interest in matters coming before this meeting
- 3 Matters that have been notified in advance or urgent
- 4 To confirm that the items of business marked Part 1 will be considered in Public and that the items marked Part 2 will be considered in private

Reports - Part 1 - Members, Public and the Press

Items are normally marked in the order that they will be considered, though the Chairman may vary this. Reports are split into 'major' and 'minor' applications. The name of the local ward area is also given in addition to the address of the premises or land concerned.

	Address	Ward	Description & Recommendation	Page
5	61 Adelphi Crescent, Hayes 60953/APP/2011/1214	Charville	Conversion of dwelling to 1, two-bedroom flat and 1 studio flat, part two storey, part single storey side extension and single storey rear extension, involving demolition of existing detached garage to side and alterations to front. Recommendation : Refusal	1 - 12
6	1, 2, 4, 5 & 6 School Approach, Fredora Avenue, Hayes 63421/APP/2011/1035	Charville	Erection of 2, two bedroom, two storey semi detached maisonettes with associated amenity space, parking spaces in and adjacent to existing garages, boundary wall to front and removal of existing vehicular crossover involving the demolition of 3 ancillary garages. Recommendation : Would have been refused had an appeal not been lodged	13 - 26

	Address	Ward	Description & Recommendation	Page
7	The Forge, St Stephens Road, Yiewsley 67384/APP/2010/2499	Yiewsley	Change of use from Class B1 (Business) to Class D1 (Non-residential Institutions) for use as Islamic Culture and Educational Community Centre (Retrospective). Recommendation : Refusal	27 - 40

Non Major Application without a Petition

	Address	Ward	Description & Recommendation	Page
8	4 Harold Avenue, Hayes 60953/APP/2011/1214	Botwell	Single storey side and rear wraparound extension. Recommendation : Approval	41 - 52
9	St Georges Meadow, Mill Road, West Drayton 33658/APP/2010/263	West Drayton	Installation of a 1.85m high mesh boundary fence with associated soft landscaping. Recommendation : Approval	53 - 66
10	62A Brookside Road, Hayes 22476/APP/2010/2879	Yeading	Conversion of existing dwelling to 1 two-bedroom and 1 three-bedroom dwellings. Recommendation : Refusal	67 - 78

Out of Borough Application

	Address	Ward	Description & Recommendation	Page
11	Aggregate Industries UK Limited, Thorney Mill Road, Iver, Slough. (Consultation by Buckinghamshire County Council) 39707/APP/2011/1988	Out of Borough	Vary conditions 2 and 11 of planning permission SBD/8207/96 in order to import no more than 20,000 tonnes of material for recycling and to allow vehicles to unload unused/reject asphalt between 6am to 10pm Monday to Friday and 7am to 6pm Saturday and Sunday. Recommendation : No Objection	79 -84

PART II – MEMBERS ONLY

The reports listed below are not made public because they contain confidential or exempt information under paragraph 6 of Part 1 of Schedule 12 A to the Local Government (Access to Information) Act 1985 as amended.

12	Enforcement Report	85 - 92
13	Enforcement Report	93 - 98

Any Items transferred from Part 1

Any Other Business in Part 2

Plans for Central and South Planning Committee	99 - 132
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Agenda Item 5

Report of the Head of Planning & Enforcement Services

Address: 61 ADELPHI CRESCENT HAYES

Development: Conversion of dwelling to 1, two-bedroom flat and 1 studio flat, part two storey, part single storey side extension and single storey rear extension, involving demolition of existing detached garage to side and alterations to front.

LBH Ref Nos: 60953/APP/2011/1214

Drawing Nos: Design and Access Statement
Location Plan
369/PL01 Rev A Proposed Plans and Elevations
347/EX01 Rev A Existing Plans and Elevations

Date Plans Received: 18/05/2011 **Date(s) of Amendment(s):** 31/05/2011

Date Application Valid: 02/06/2011

1. SUMMARY

Planning permission is sought for the conversion of existing dwelling to 1, two-bedroom flat and 1 studio flat. Erection of a part two storey, part single storey side extension and single storey rear extension, involving demolition of the existing detached garage to the side and alterations to the front of the property.

The proposed extensions and elevational alterations are acceptable however the parking arrangements are not considered acceptable.

2. RECOMMENDATION

REFUSAL for the following reasons:

1 NON2 Non Standard reason for refusal

The proposal has not demonstrated that sufficient off street parking/manoeuvring/access arrangements would be provided, and therefore the development is considered to result in substandard car parking provision to the Councils approved car parking standard, leading to possible on-street parking to the detriment of pedestrian and highway safety and contrary to policies AM7 and AM14 of the Hillingdon Unitary Development Plan (Saved Policies September 2007) and to the Hillingdon's Adopted Parking Standards (Hillingdon UDP, Saved Policies, September 2007).

3. CONSIDERATIONS

3.1 Site and Locality

The application site is located on the south side of Adelphi Crescent at its junction with Adelphi Way and comprises a modestly sized, two storey semi-detached house with a detached side garage. The attached house, 59 Adelphi Crescent, lies to the west and has a single storey rear extension. To the south east lies 3 Adelphi Way, a two storey terraced house with a single storey detached double garage, and a single storey rear extension. The street scene is characterised by similarly designed two storey semi-detached houses

and the application site lies within the 'developed area' as identified in the adopted Hillingdon Unitary Development Plan (Saved Policies September 2007). The application site is covered by TPO 24, however, there are no protected trees within the application site.

3.2 Proposed Scheme

The previously refused scheme allowed on appeal (60953/APP/2007/3280) proposed the single storey side element of the two storey side extension set flush with the front wall of the application site, while the first floor was set 1m behind. The proposed part single and part two storey side extension measured 3m wide, 6.4m deep, 5.4m deep at first floor level, set 700mm behind the rear wall of the main house, and finished with a hipped roof set 0.4m below the main roof ridge. The part single storey front element was finished with a mono-pitched roof 2.75m high at eaves level and 3.8m high at its highest point.

The proposed single storey rear extension measured 7.1m wide for the full width of the application property wrapping around part of the flank wall of the main house and attached to the rear wall of the proposed two storey side extension. It measured 3.3m deep and was finished with a mono-pitched roof with a flat roof element along the flank wall of the application property, measuring 2.75m high at eaves level and 3.2m high at its highest point.

This current application incorporates the elements of the previous scheme allowed on appeal and is similar to that refused under application 60953/APP/2010/93, and indicated as acceptable on the most recently refused scheme. The most recently refused scheme was however refused on the grounds that:-

1. The proposal does not provide direct and convenient access to the rear garden area, and would result in the occupants of the first floor level flat having to gain access to the rear amenity area, by walking past the habitable room windows of the ground floor unit. This would result in a loss of privacy to the occupants of the ground floor unit and would fail to provide a satisfactory standard of accommodation to the future occupants of the ground floor flat.
2. The proposal would result in the dining/living room and kitchen windows of the ground floor unit being overlooked from the communal garden when used by the future occupiers of the first floor flat resulting in an unacceptable loss of privacy. As such, the proposal fails to afford an acceptable standard of internal living conditions and residential amenity to the future occupiers of the ground floor unit contrary
3. The floorspace of the proposed one bedroom first floor unit would be below the required 50sq.m for a one bedroom unit. As such, the internal size is inadequate and fails to provide an acceptable standard of amenity for future occupiers.
4. The proposal fails to meet the requirements of lifetime homes
5. The proposal would result in inadequate provision for car parking which would be likely to cause on-street parking to the detriment of highway and pedestrian safety.

This application has been submitted in an attempt to address the previous refusal reasons and includes:- a studio bedsit flat at first floor measuring 49 square metres; An access to the rear garden for the first floor flat in the side elevation with a screened pathway to a divided rear garden to the rear, 3 parking spaces, accessible accommodation to meet lifetime home standards as set out in the SPD Accessible Hillingdon.

3.3 Relevant Planning History

60953/APP/2005/3129 61 Adelphi Crescent Hayes

ERECTION OF PART SINGLE STOREY AND PART TWO STOREY SIDE EXTENSION, PART SINGLE STOREY AND PART TWO STOREY REAR EXTENSION (INVOLVING DEMOLITION OF THE EXISTING DETACHED GARAGE).

Decision: 01-08-2006 Refused

60953/APP/2006/2483 61 Adelphi Crescent Hayes

ERECTION OF A PART SINGLE, PART TWO STOREY SIDE EXTENSION, AND SINGLE STOREY REAR EXTENSION WITH A PART FIRST FLOOR ADDITION ABOVE (INVOLVING DEMOLITION OF EXISTING GARAGE)

Decision: 07-11-2006 Refused

Appeal: 21-09-2007 Dismissed

60953/APP/2007/3280 61 Adelphi Crescent Hayes

ERECTION OF A PART SINGLE, PART TWO STOREY SIDE EXTENSION, AND SINGLE STOREY REAR EXTENSION (INVOLVING DEMOLITION OF EXISTING GARAGE)

Decision: 26-02-2008 Refused

Appeal: 10-10-2008 Allowed

60953/APP/2010/93 61 Adelphi Crescent Hayes

Conversion of dwelling to 1 one-bedroom and 1 two- bedroom flats, part two storey, part single storey side extension and single storey rear extension, involving demolition of existing detached garage to side and alterations to front.

Decision: 23-04-2010 Refused

Comment on Relevant Planning History

See above.

4. Planning Policies and Standards

UDP / LDF Designation and London Plan

The following UDP Policies are considered relevant to the application:-

Part 1 Policies:

PT1.10 To seek to ensure that development does not adversely affect the amenity and the character of the area.

Part 2 Policies:

AM14 New development and car parking standards.

AM7 Consideration of traffic generated by proposed developments.

BE13 New development must harmonise with the existing street scene.

BE15 Alterations and extensions to existing buildings

BE19 New development must improve or complement the character of the area.

- BE23 Requires the provision of adequate amenity space.
- BE24 Requires new development to ensure adequate levels of privacy to neighbours.
- BE38 Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.
- H7 Conversion of residential properties into a number of units
- HDAS-LAY Residential Layouts, Hillingdon Design & Access Statement, Supplementary Planning Document, adopted July 2006
- BE20 Daylight and sunlight considerations.
- BE22 Residential extensions/buildings of two or more storeys.

- LPP 3.8 (2011) Housing Choice
- LPP 7.1 (2011) Building London's neighbourhoods and communities
- LPP 7.2 (2011) An inclusive environment
- LPP 7.4 (2011) Local character

5. Advertisement and Site Notice

- 5.1 Advertisement Expiry Date:- Not applicable
- 5.2 Site Notice Expiry Date:- Not applicable

6. Consultations

External Consultees

15 adjoining owner/occupiers have been consulted. 1 letter of objection and a petition with 20 signatures have been received making the following comments:

Letter of objection:

The development is still too large and would result in the loss of light and privacy to neighbouring properties. The proposal would also lead to an increase in on street parking.

Petition:

"Having received communications regarding the new owners of the above address and their plans to change the type of property from two bedroom semi detached house to a four bedroom house and now to two flats. We are writing to object to the new plans that have been submitted.

If the building work went ahead as a four bedroom house the rear first floor window would have been a bedroom window. Converting the property into two flats now makes the same window a window for a kitchen/diner, so reducing the amount of privacy to the rear of the adjoining house no. 3 Adelphi Way.

The drawing submitted and available for viewing on the London Borough of Hillingdon, fail to give any dimensions. The original drawings for the four bedroom house showed the side extension built to the boundary line. If this is the case there would be no access for the owners of the upstairs two bedroom flat to the rear garden. By the nature of the triangular shape of the rear garden it seems to fall well below the required metrage set out in Design Principles 3.13 and 6.18 of the supplementary planning document: Residential Extensions.

The proposed extension, by reason of their scale, design and form, would fail to harmonise with the appearance of the original house and remain subordinate to it. As such the extension would be detrimental to the appearance of the original house and the visual amenities of the area.

We have concerns regarding the allocated double width parking to the front of the property as it appears to be situated on a busy 'T' junction with Adelphi Way.

There appears to be no other semi detached properties in the local area that have been divided into two separate flats.

Neighbours who share our views have also signed this letter of objection."

Internal Consultees

Trees/Landscape:

Saved policy BE38 seeks the retention and utilisation of topographical and landscape features of merit and the provision of new planting and landscaping wherever it is appropriate.

- No trees or other landscape features will be affected by the development although some of the front garden space will become hard-standing for parking and new footpaths. However, there is space and opportunity for soft landscape enhancement, subject to the following considerations:
 - The provision of cycle parking in the front garden is not desirable from an amenity (or security) point of view. This should be re-sited more discretely to the side or rear of the property.
 - Similarly, the bin stores should be discretely sited and screened from view from the road by soft landscaping.
 - The parking bays should be re-sited further into the site to ensure that there is adequate space to establish a front boundary hedge - and tree planting. The front boundary should be delineated and secured by a low wall or fence.
 - Where parking layouts are altered a part of an extension to a property, at least 25% of the front garden may be required to be maintained for planting and soft landscaping. In this case, the proposal meets this standard.
 - DCLG / EA guidance requires new driveways to be permeable, to meet SUDS requirements.
 - Due to the shared responsibility for the communal space to the side and front of the property, a management and maintenance plan should be conditioned.

No objection, subject to the above considerations and conditions TL5, TL6 and TL7.

Waste Management:

I would make the following comments on the above application regarding waste management.

The plan does show that a space has been allocated for the storage of waste which is good practice. However, Hillingdon is not a wheeled bin borough. Bins or other containment would have to be provided by the developer.

The current waste and recycling collection systems are: -

Weekly residual (refuse) waste using sacks purchased by the occupier

Weekly dry recycling collection using specially marked sacks provided by the Council.

Fortnightly green garden waste collection three specially marked reusable bags provided by the Council free of charge.

The waste and recycling should be presented near the curtilage of the property on allocated collection days.

Access Officer:

In assessing this application, reference has been made to London Plan Policy 3A.5 (Housing Choice) and the Council's Supplementary Planning Document "Accessible Hillingdon" adopted January 2010.

As the existing dwelling does not lend itself to the principles of Lifetime Home Standards, it is recommended that the above policy is not applied in this instance.

Conclusion: acceptable.

Highways Officer:

Adelphi Crescent is a densely populated residential area benefiting from 7.0m wide carriageway and 2.5m wide footway on both sides and is accessed from Kings Hill Avenue. Adelphi Crescent is a bus route with part footway/carriageway parking.

Existing dwelling is located on the corner of Adelphi Way and Adelphi Crescent and is currently benefiting from sufficiently wide vehicular crossover accommodating two vehicles in the hardstanding front garden in addition to its detached garage.

Proposal is to convert existing two storey semi detached property into 1x2bed flat and one studio flat by demolishing existing detached garage and providing three off street vehicle parking spaces in the front garden.

While the number of spaces is acceptable, the access into the spaces is problematic, the orientation of spaces as well as the close proximity of these parking spaces to one another is highly problematic and an objection is raised to the scheme in this regard.

7. MAIN PLANNING ISSUES

7.01 The principle of the development

The principle of the conversion of the dwellinghouse is acceptable subject to Council's policies and standards.

7.02 Density of the proposed development

This is not applicable to this application.

7.03 Impact on archaeology/CAs/LBs or Areas of Special Character

This is not applicable to this application.

7.04 Airport safeguarding

This is not applicable to this application.

7.05 Impact on the green belt

This is not applicable to this application.

7.07 Impact on the character & appearance of the area

The previous scheme allowed on appeal considered that the proposed extensions would harmonise with the character and proportions of the original house and would not be detrimental to the appearance of the street scene and surrounding area. As this current application proposes extensions which are identical in design, scale, bulk and appearance to that which formed part of the previous scheme allowed on appeal, that consideration remains the same for this current scheme.

Apart from the proposed extensions, the additional elevational alterations comprise the replacement of the entrance door with two separate entrance doors, one within the existing porch and one in the side elevation and the erection of a bin enclose along the flank wall of the two storey side extension. These elements are acceptable and would not detract from the residential character of the street scene.

The street scene is characterised by front garden parking incorporating hardstanding. At present the existing hardstanding extends to the front garage which is in line with the front wall of the application property. However, this current scheme proposes to reduce the extent of hardstanding by introducing a grassed area between the parking spaces and the front wall of the proposed extension. This is considered to be an improvement on the existing situation and as such, it is considered that the proposal would relate satisfactorily with the appearance of the street scene, in accordance with policies BE13, BE15 and BE19 of the adopted Hillingdon Unitary Development Plan (Saved Policies September 2007) and paragraph 4.23 of the Hillingdon Design & Accessibility Statement: Residential Layouts.

7.08 Impact on neighbours

The previous scheme allowed on appeal considered that the proposed extensions to the original house would not harm the residential amenities of adjoining and nearby properties. As this current application proposes extensions that are identical to that which formed part of the previous scheme allowed on appeal, that consideration remains the same for this current scheme.

It is considered that subject to adequate sound insulation, between properties and between floors within the property, the proposed conversion of the enlarged house would not result in a significant increase in noise and disturbance over and above that of a single family dwelling house. As such, the proposal would comply with policies BE20, BE21, BE24, OE1 and OE3 of the adopted Hillingdon Unitary Development Plan (Saved Policies September 2007).

The proposed 3 front garden parking spaces would be located some 5.5m from the ground floor bedroom window. This distance is considered to be sufficient to ensure that the use of the parking area would not harm the residential amenities of the occupiers of the ground floor unit through noise and disturbance. As such, the proposal would provide a satisfactory standard of accommodation to the future occupiers of the ground floor flat, in accordance with policies BE19, BE24 and H7 of the adopted Hillingdon Unitary Development Plan (Saved policies September 2007) and paragraph 4.12 of the Hillingdon Design & Accessibility Statement: Residential Layouts.

The current application differs from the previously refused scheme in respect of the layout and access of the rear amenity space. The previously refused communal rear garden space has been replaced by two private rear garden areas which have been divided. The first floor studio has a private rear garden area of 25 square metres which is accessed via a planted screened path from the access in the side elevation. The ground floor two bedroom flat has a private rear garden area of 29 square metres. It is considered that the access and use of these private rear garden areas would provide satisfactory levels of residential amenity to the future occupants of these properties in accordance with saved policies BE19, BE24 and H7 of the adopted Hillingdon Unitary Development Plan (Saved Policies September 2007) and paragraph 4.12 of the Hillingdon Design and Accessibility Statement: residential Layouts.

7.09 Living conditions for future occupiers

The internal size of the ground and first floor units will measure approximately 69sq.m and

49sq.m, respectively in accordance with the advice as set out in paragraph 4.6 of the Hillingdon Design & Accessibility Statement: Residential Layouts.

With regards to Lifetime Home Standards, the access officer has advised that the existing dwelling does not lend itself to the principles of Lifetime Home Standards, it is recommended that the above policy is not applied in this instance.

In regards to garden spaces for house conversions, paragraph 4.17 of the Hillingdon Design & Accessibility Statement: Residential Layouts advises an amenity space of some 25sq.m for 2 bedroom flats, and 20 square metres for a studio/bedsit. The proposal would provide 29 square metres for the two bed flat and 25 square metres for the studio. Therefore the proposal would comply with policy BE23 of the adopted Hillingdon Unitary Development Plan (Saved Policies September 2007).

7.10 Traffic impact, Car/cycle parking, pedestrian safety

The proposal involves extending the existing hardstanding to provide 3 off-street parking spaces.

The Council's parking standards require 1.5 spaces per flat, which equates to 3 spaces. The proposal would provide 3 off-street parking spaces however advice from the Council's Highways Engineer is that the orientation and location of parking spaces in relation to one another is such that access into and out of the spaces for vehicles is problematic, and as such there is an objection to the scheme in this regard.

7.11 Urban design, access and security

This is addressed at section 07.07.

7.12 Disabled access

See above.

7.13 Provision of affordable & special needs housing

This is not applicable to this application.

7.14 Trees, landscaping and Ecology

There are no protected trees on the site, however, there is an ornamental Pear Tree located on the highway verge between the application property and 59 Adelphi Crescent. This tree makes a positive contribution to the character and appearance of the street scene, and is not shown on the submitted plans.

The proposed car parking space has been extended eastwards away from this tree when compared to the previous scheme approved on appeal. It is considered that the proposal would not affect the long term survival of this highway tree, in accordance with policy BE38 of the adopted Hillingdon Unitary Development Plan (Saved Policies September 2007).

7.15 Sustainable waste management

This is not applicable to this application.

7.16 Renewable energy / Sustainability

This is not applicable to this application.

7.17 Flooding or Drainage Issues

This is not applicable to this application.

7.18 Noise or Air Quality Issues

This is not applicable to this application.

7.19 Comments on Public Consultations

The third party comments are addressed in the report.

7.20 Planning obligations

This is not applicable to this application.

7.21 Expediency of enforcement action

This is not applicable to this application.

7.22 Other Issues

There are no other relevant issues.

8. Observations of the Borough Solicitor

When making their decision, Members must have regard to all relevant planning legislation, regulations, guidance, circulars and Council policies. This will enable them to make an informed decision in respect of an application.

In addition Members should note that the Human Rights Act 1998 (HRA 1998) makes it unlawful for the Council to act incompatibly with Convention rights. Decisions by the Committee must take account of the HRA 1998. Therefore, Members need to be aware of the fact that the HRA 1998 makes the European Convention on Human Rights (the Convention) directly applicable to the actions of public bodies in England and Wales. The specific parts of the Convention relevant to planning matters are Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

Article 6 deals with procedural fairness. If normal committee procedures are followed, it is unlikely that this article will be breached.

Article 1 of the First Protocol and Article 8 are not absolute rights and infringements of these rights protected under these are allowed in certain defined circumstances, for example where required by law. However any infringement must be proportionate, which means it must achieve a fair balance between the public interest and the private interest infringed and must not go beyond what is needed to achieve its objective.

Article 14 states that the rights under the Convention shall be secured without discrimination on grounds of 'sex, race, colour, language, religion, political or other opinion, national or social origin, association with a national minority, property, birth or other status'.

9. Observations of the Director of Finance

This is not applicable to this application.

10. CONCLUSION

While no objection is raised in terms of appearance, or impacts on amenity, the proposed parking arrangements are problematic and this application fails to demonstrate that sufficient off street parking/manoeuvring/access arrangements would be provided, and therefore the development is considered to result in substandard car parking provision to the Councils approved car parking standard, leading to possible on-street parking to the detriment of pedestrian and highway safety.

The application is considered to be contrary to policy AM7 and AM14 of the Hillingdon Unitary Development Plan (Saved Policies September 2007) and to the Hillingdon's Adopted Parking Standards (Hillingdon UDP, Saved Policies, September 2007) and

refusal is recommended.

11. Reference Documents

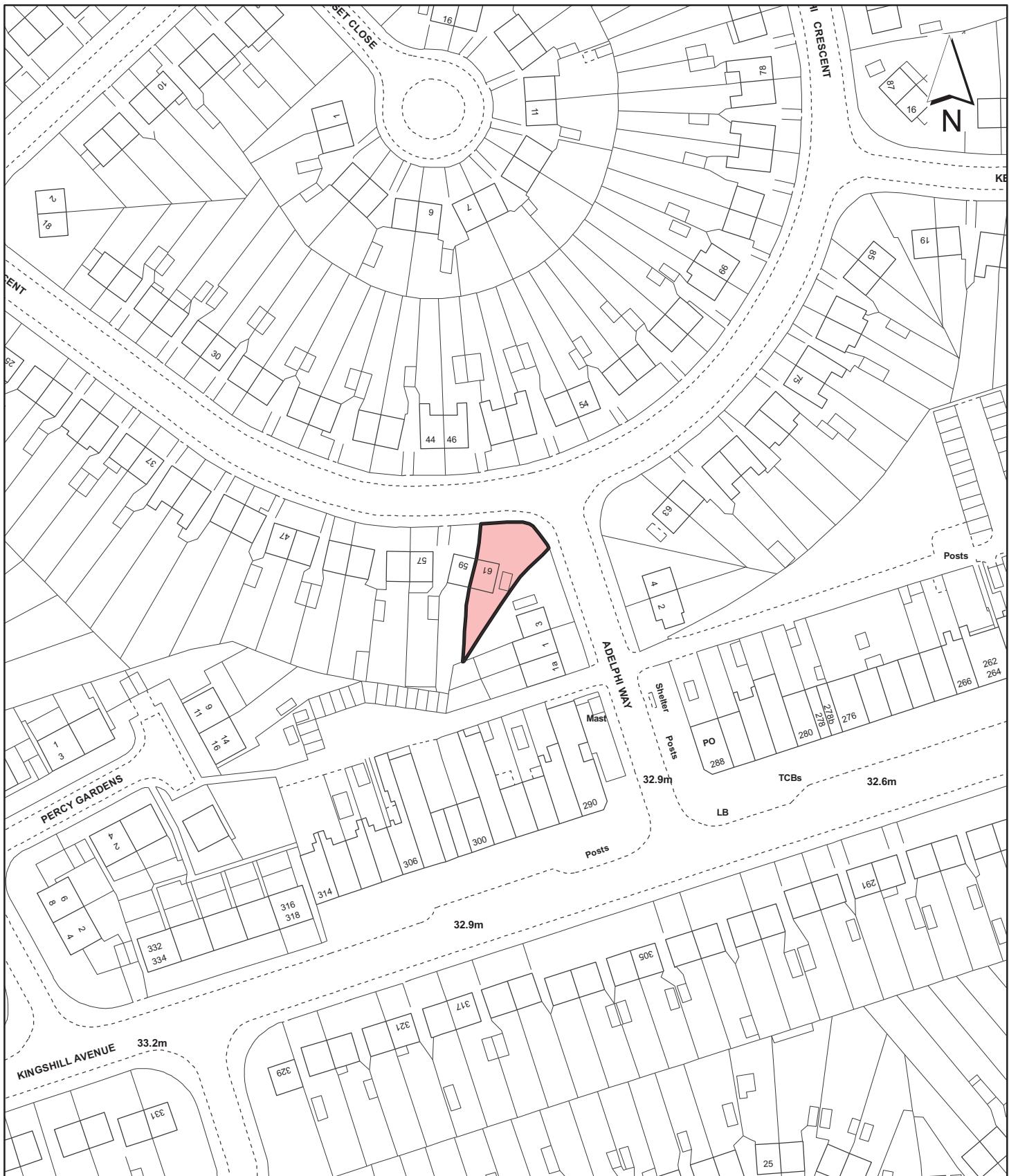
London Plan July 2011

Adopted Hillingdon Unitary Development Plan (Saved Policies September 2007)

Hillingdon Design & Accessibility Statement (HDAS): Residential Layouts

Contact Officer: Nicola Taplin

Telephone No: 01895 250230

**Notes**

 Site boundary

For identification purposes only.

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Site Address

**61 Adelphi Crescent
Hayes**

**LONDON BOROUGH
OF HILLINGDON**
Planning,
Environment, Education
& Community Services
Civic Centre, Uxbridge, Middx. UB8 1UW
Telephone No.: Uxbridge 250111

Planning Application Ref:

60953/APP/2011/1214

Scale

1:1,250

Planning Committee

Central and South

Date

**August
2011**



HILLINGDON
LONDON

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Agenda Item 6

Report of the Head of Planning & Enforcement Services

Address 1, 2, 4, 5 & 6 SCHOOL APPROACH FREDORA AVENUE HAYES

Development: Erection of 2, two bedroom, two storey semi detached maisonettes with associated amenity space, parking spaces in and adjacent to existing garages, boundary wall to front and removal of existing vehicular crossover involving the demolition of 3 ancillary garages

LBH Ref Nos: 63421/APP/2011/1035

Drawing Nos:

- LP1 Location Plan
- PL01 Existing & Proposed Block Plan
- 1 Existing floor plans
- 22 Proposed Elevations
- Design & Access Statement
- 21 Proposed floor plans

Date Plans Received: 28/04/2011 **Date(s) of Amendment(s):** 03/05/2011

Date Application Valid: 23/05/2011 11/05/2011

1. SUMMARY

The application seeks the erection of 2, two bedroom, two storey semi detached maisonettes with associated amenity space, parking spaces in and adjacent to existing garages, boundary wall to front and removal of existing vehicular crossover involving the demolition of 3 garages.

A non-determination appeal has been lodged and as such the Local Planning Authority must advise the Planning Inspectorate of its views on the application.

The proposal would have an unacceptable visual appearance within the street scene. In addition it would result in unacceptable living conditions for future occupiers and would fail to provide adequate levels of inclusive design.

In respect of impacts on access to neighbouring sites, including the health centre and school, this has been subject to a previous appeal decision which represents a material consideration. As such, no objection is raised in this respect.

Overall, it is recommended that the Planning Inspectorate be advised that had an appeal against non-determination not been received the application would have been refused.

2. RECOMMENDATION

That the Planning Inspectorate be advised that, had an appeal against non-determination not been lodged, the Local Planning Authority would have refused the application for the following reasons:

1 NON2 Non Standard reason for refusal

The proposal by reason of its overall design, height, bulk and cramped layout would result in a cramped living environment for its future occupiers, would be overdominant in the street scene and out of character with the surrounding residential area, contrary to Policy 3.8 of the London Plan and Policies BE19, BE21 and BE23 of the Hillingdon

Unitary Development Plan Saved Policies (September 2007) and the Council's HDAS (SPD) 'Residential Layouts'.

2 NON2 Non Standard reason for refusal

Notwithstanding the internal arrangement of the two dwelling units hereby proposed, the proposal fails to provide amenity space of sufficient size and quality commensurate to the size and layout of the said units. As such the proposal would provide a substandard form of accommodation for future residents contrary to Policy BE23 of the Hillingdon Unitary Development Plan Saved Policies (September 2007), and Council's HDAS (SPD) 'Residential Layouts'.

3 NON2 Non Standard reason for refusal

The proposed dwelling by reason of failing to provide units which would be easily adaptable for use by a wheelchair disabled person or to Lifetime Homes standards fails to meet the needs of people with disabilities, contrary to policy 3.8 of the London Plan and the Council's Supplementary Planning Document - Accessible Hillingdon.

INFORMATIVES

1 I52 Compulsory Informative (1)

The decision to REFUSE planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

2 I53 Compulsory Informative (2)

The decision to REFUSE planning permission has been taken having regard to the policies and proposals in the Hillingdon Unitary Development Plan Saved Policies (September 2007) set out below, including Supplementary Planning Guidance, and to all relevant material considerations, including the London Plan (July 2011) and national guidance.

AM14	New development and car parking standards.
AM7	Consideration of traffic generated by proposed developments.
AM9	Provision of cycle routes, consideration of cyclists' needs in design of highway improvement schemes, provision of cycle parking facilities
BE13	New development must harmonise with the existing street scene.
BE14	Development of sites in isolation
BE19	New development must improve or complement the character of the area.
BE20	Daylight and sunlight considerations.
BE21	Siting, bulk and proximity of new buildings/extensions.
BE22	Residential extensions/buildings of two or more storeys.
BE23	Requires the provision of adequate amenity space.
BE24	Requires new development to ensure adequate levels of privacy to neighbours.
BE38	Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.
R11	Proposals that involve the loss of land or buildings used for education, social, community and health services

LPP 3.5	(2011) Quality and design of housing developments
LPP 3.1	(2011) Ensuring equal life chances for all
LPP 3.8	(2011) Housing Choice
LPP 7.1	(2011) Building London's neighbourhoods and communities
LPP 7.2	(2011) An inclusive environment

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You are advised that had the Council been minded to approve the application conditions would have been imposed restricting permitted development rights.

3. CONSIDERATIONS

3.1 Site and Locality

The application site comprises of 2 blocks of garages as well as parts of the rear gardens of 7 and 9 Fredora Avenue and a portion of road (known as School Approach).

Adjoining the site to the northwest are the rear gardens of 5, 7 and 9 Fredora Avenue. To the northeast, the site is adjoined by the rear gardens of 15 and 16 Pine Place.

To the southwest the site is adjoined by a two storey dwelling accommodating the care taker of Grange Park Infant and Junior School. To the southwest the site is adjoined by the Grange Park (NHS) Clinic.

3.2 Proposed Scheme

Erection of 2, two bedroom, two storey semi detached maisonettes with associated amenity space, parking spaces in and adjacent to existing garages, boundary wall to front and removal of existing vehicular crossover involving the demolition of 3 garages.

The new building would be approximately 8.2m wide, 9.2m deep and 7.1m (4.85m high to eaves level) to ridge height. It would have a hip end roof.

Its design, scale and bulk are very similar to that of proposals previously refused under applications 6342/APP/2008/1069 and 63421/APP/2008/1079.

3.3 Relevant Planning History

63421/APP/2007/2482 1, 2, 4, 5 & 6 School Approach Fredora Avenue Hayes

ERECTION OF A PAIR OF TWO BEDROOM SEMI-DETACHED DWELLINGHOUSES WITH GARAGE PARKING PROVIDED IN UNITS 1 & 2 (INVOLVING DEMOLITION OF EXISITNG (GARAGES) UNITS 4, 5 & 6)

Decision: 26-02-2008 Refused

63421/APP/2008/1069 1, 2, 4, 5 & 6 School Approach Fredora Avenue Hayes

Erection of a pair of two-bedroom semi-detached dwellinghouses with garage and forecourt parking provided in Units 1 and 2 (involving demolition of existing garages Units 4, 5 and 6).

Decision: 21-10-2008 Refused

63421/APP/2008/1079 1, 2, 4, 5 & 6 School Approach Fredora Avenue Hayes

Erection of 2 two-bedroom maisonettes with garage and forecourt parking provided in Units 1 and 2 (involving demolition of existing garages Units 4, 5 and 6).

Decision: 21-10-2008 Refused

63421/APP/2008/3340 1, 2, 4, 5 & 6 School Approach Fredora Avenue Hayes

ERECTION OF TWO STOREY BUILDING COMPRISING 2 TWO-BEDROOM RESIDENTIAL UNITS WITH GARAGE AND FORECOURT PARKING PROVIDED IN GARAGE UNITS 1 AND 2 (INVOLVING DEMOLITION OF EXISTING GARAGES UNITS 4, 5 AND 6)

Decision: 02-03-2009 Refused

63421/APP/2009/1411 1, 4, 5 & 6 School Approach Fredora Avenue Hayes

Single storey one-bedroom detached dwelling with habitable roofspace, involving demolition of existing 3 garage units

Decision: 05-01-2010 Refused

Appeal: 10-12-2010 Allowed

Comment on Relevant Planning History

The application site has an extensive planning history, however the most relevant is:

Appeal Decision APP/R5510/A/10/2129978. The Inspector considered the erection of a single storey one-bedroom detached dwelling with habitable roofspace, involving demolition of existing 3 garage units (Local Planning Authority Reference 63421/APP/2009/1411). the main issues were considered to relate to:

- The effect of the proposal on the character and appearance of the surrounding area;
- The effect of the proposal on highway safety; and
- Whether the proposal would prejudice access to the adjoining land.

No harm was found in respect of these issues and the appeal was allowed 8 November 2010. This decision represents a material consideration and the decision with respect to access impacts is considered particularly pertinent to this application.

Application 63421/APP/2009/1411 for the erection of a single storey one-bedroom detached dwelling with habitable roofspace, involving demolition of existing 3 garage units. Refused on 08-01-2010 for the following reasons:

1. The proposed development, by reason of its siting, incongruous building alignment, layout and scale, represents an over-development of the site, that would result in an overbearing, unduly intrusive, visually prominent and inappropriate form of development that would not harmonise with the existing street scene and would be out of keeping with the character and appearance of the surrounding area. The proposal is therefore contrary to Policies BE13 and BE19 of the adopted Hillingdon Unitary Development Plan and the Council's Supplementary Planning Document - Residential Layouts.

2. The proposal fails to provide adequate parking in accordance with the Council's adopted

parking standards and would give rise to conditions prejudicial to highway safety being contrary to Policies AM7(ii) and AM14 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

3. The proposal would result in the loss of access to adjoining land to the Southeast which accommodates a Health Care Centre, the loss of access would make the health care centre unusable, leading to its loss, contrary to policy R11 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

4. The proposal would result in the loss of access to adjoining land and effectively prevent any planned expansion or future development proposals on what is a large brownfield site. As such the proposal is contrary to policy BE14 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

This application was subsequently allowed at appeal as referenced above.

Application 63421/APP/2008/1079 for the Erection of 2 two-bedroom maisonettes with garage parking provided in Units 1 and 2 (involving demolition of existing garages Units 4, 5 and 6). This application was refused on the 21st October 2008 for the following reasons:

1. The proposal by reason of its excessive density, design and cramped layout would result in a cramped living environment for its future occupiers, would be overdominant in the street scene and out of character with the surrounding residential area, contrary to Policy 3A.3 of the London Plan and Policies BE19, BE21 and BE23 of the Hillingdon Unitary Development Plan Saved Policies (September 2007) and the Council's HDAS (SPD) 'Residential Layouts'.

2. Notwithstanding the internal arrangement of the two dwelling units hereby proposed, the proposal fails to provide amenity space of sufficient size and quality commensurate to the size and layout of the said units. As such the proposal would provide a substandard form of accommodation for future residents contrary to Policy BE23 of the Hillingdon Unitary Development Plan Saved Policies (September 2007), and Council's HDAS (SPD) 'Residential Layouts'.

3. The proposed dwelling by reason of failing to provide units which would be easily adaptable for use by a wheelchair disabled person or to Lifetime Homes standards fails to meet the needs of people with disabilities, contrary to policy 3A.4 of the London Plan and the Hillingdon Design and Accessibility Statement on 'Accessible Hillingdon'.

The decision on this previous application is a material considered and is considered particularly relevant to the current proposal due to the similarities in terms of bulk, layout, massing, internal layout and car parking.

4. Planning Policies and Standards

UDP / LDF Designation and London Plan

The following UDP Policies are considered relevant to the application:-

Part 1 Policies:

- PT1.10 To seek to ensure that development does not adversely affect the amenity and the character of the area.
- PT1.13 To seek to ensure the provision of 8000 additional dwellings in the Borough between 1 January 1987 and 31 December 2001.
- PT1.16 To seek to ensure enough of new residential units are designed to wheelchair and mobility standards.

Part 2 Policies:

- AM14 New development and car parking standards.
- AM7 Consideration of traffic generated by proposed developments.
- AM9 Provision of cycle routes, consideration of cyclists' needs in design of highway improvement schemes, provision of cycle parking facilities
- BE13 New development must harmonise with the existing street scene.
- BE14 Development of sites in isolation
- BE19 New development must improve or complement the character of the area.
- BE20 Daylight and sunlight considerations.
- BE21 Siting, bulk and proximity of new buildings/extensions.
- BE22 Residential extensions/buildings of two or more storeys.
- BE23 Requires the provision of adequate amenity space.
- BE24 Requires new development to ensure adequate levels of privacy to neighbours.
- BE38 Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.
- R11 Proposals that involve the loss of land or buildings used for education, social, community and health services
- LPP 3.5 (2011) Quality and design of housing developments
- LPP 3.1 (2011) Ensuring equal life chances for all
- LPP 3.8 (2011) Housing Choice
- LPP 7.1 (2011) Building London's neighbourhoods and communities
- LPP 7.2 (2011) An inclusive environment

5. Advertisement and Site Notice

- 5.1 Advertisement Expiry Date:- Not applicable
- 5.2 Site Notice Expiry Date:- Not applicable

6. Consultations

External Consultees

26 neighbouring owners/occupiers and interested parties were consulted. 9 letters of objection and a petition have been received. this includes a letter of objection from John McDonnell MP. In

addition, 1 letter of support has been received.

The objections raise concerns relating to:

- (i) The impact of the development on the street scene
- (ii) The impact of the development on the amenity neighbouring occupiers (dominance and overlooking)
- (iii) The impact of the development on access and access rights to the neighbouring school, healthcentre and caretakers house (both during and after construction)
- (iv) Concerns that the proposal does not incorporate inclusive design.
- (v) Concerns regarding security.

The letter of support highlights that the development would provide additional housing and reduce antisocial behaviour around the existing garages.

THAMES WATER

No objection.

Internal Consultees

TREES & LANDSCAPE

No objection, subject to conditions.

ENVIRONMENTAL PROTECTION UNIT

No objection, subject to conditions to ensure the quality of imported soils.

WASTE STRATEGY

No objection.

ACCESS OFFICER

The following access observations are provided:

1. Level access should be achieved. Entry to the proposed dwelling houses appears to be stepped, which would be contrary the above policy requirement. Should it not be possible, due to topographical constraints, to achieve level access, it would be preferable to gently slope (maximum gradient 1:21) the pathway leading to the ground floor entrance door. Details in this regard should be requested prior to any grant of planning permission.
2. The floor plans as submitted lack the necessary detail to allow full comments to be made. However, the scheme does not include provision of a downstairs WC designed in accordance with the Lifetime Homes Standards. At least 1100 mm should be provided in front of the WC pan, with no less than 700mm provided to one side. Floor gully drainage is also required within the facility and should be specified on plan.
3. The bathrooms/ensuite facilities should be designed in accordance with Lifetime Home standards. At least 700mm should be provided to one side of the WC, with 1100 mm provided between the front edge of the toilet pan and a door or wall opposite.
4. To allow bathrooms to be used as wet rooms in future, plans should indicate floor gully drainage.
5. The staircase should be compliant with the Lifetime Homes Standards.
6. Plans should also include the location for a future through floor lift.

The application in its current form does not comply with Lifetime Homes standards and is considered unacceptable.

7. MAIN PLANNING ISSUES

7.01 The principle of the development

The proposal relates to the construction of a residential dwelling in an established residential area. The existing garages are not required to be provided as garages as part of a legal agreement or planning condition.

There are no objections to the proposal in principle.

7.02 Density of the proposed development

The site is located in an area with a Public Transport Accessibility Level (PTAL) of 2. London Plan recommended guidelines for sites with this level of PTAL indicate that a density of between 150-250 habitable rooms per hectare (hr/ha) or 50-90 units per hectare (u/ha) is appropriate.

The application site has an area of approximately 0.026 hectares (including the road), as such the proposal represents a density of 153hr/h or 77u/ha. Taking into account the road, the proposal would be in keeping with the guidance set out in the London Plan.

A portion of the site forms part of the road leading to the care takers house, the medical centre and school. If the road is not taken into account, then the proposed density would equate to 78 u/ha or 156 hr/ha, again within guidance set out in the London plan.

7.03 Impact on archaeology/CAs/LBs or Areas of Special Character

The site is not located in a Conservation Area, nor is it near to any buildings of historical importance.

7.04 Airport safeguarding

Not relevant in this case.

7.05 Impact on the green belt

The site is not located in or adjacent to the Green Belt.

7.07 Impact on the character & appearance of the area

The access road to the proposed building serves the Grange Park School, the existing garages (which form part of the application site), the Grange Park Clinic and the School House. There are no other residential properties facing this access road other than the School House, which is located inside the school ground at the end of the access road.

It is considered that the design of the building with a low height hip end pitched roof and front and side canopies over the entrances would not detract from the character of the area. The new building would be sited 1m from the side boundary with the School House in line with the minimum required distance stated in the Council's HDAS (SPD) Residential Layout.

The building has been designed to give an appearance of a single detached residence when viewed from the street, as only one entrance door is proposed in the main facade. The building would be sited 1.5m from the front boundary. The ground floor front rooms are arranged as non-habitable kitchens with habitable rooms located to the rear. Notwithstanding the layout and the increased set-in from the back edge of the walkway, there is concern that the building would be sited too close to the road, resulting in a substandard semi-private front garden for the dwelling, and the proposed building having an overdominant impact in the street in this location.

The footprint is similar to that which has been allowed on appeal for a single storey building, however at 7m in height the current proposal would represent a significant increase in bulk and mass from that allowed at appeal. Overall, the combination of the developments large footprint, proximity to the road, overall bulk and mass would appear disproportionate within the site resulting in a cramped appearance which is out of character with the pattern of development in the area.

7.08 Impact on neighbours

Policy BE21 requires new residential developments to be designed so as to ensure adequate outlook for occupants of the site and surrounding properties.

Policy BE24 states that the development should be designed to protect the privacy of future occupiers and their neighbours. Hillingdon Design and Accessibility Statement (HDAS) provides further guidance in respect of these matters, stating in particular that the distance between habitable room windows should not be less than 21m with a 3m area of rear private amenity space, and that a 15m setback should be maintained to the rear of surrounding properties.

The proposed building is oriented to the front of the site facing School Approach. The proposal would be sited at least 18m from the main rear wall elevations of adjoining properties to the north of the site. It would also be sited more than 21m from the rear elevations of properties facing Pine Place, on the north-eastern side of the site. It would be set about 1m from the boundary with the School House and 4.2m from its main flank wall. The building would be sited 4m forward of the front wall of the School House and 950mm from its rear wall.

While it would be sited some considerable distance forward of the neighbouring residential property and the School House, it would not breach the 45° line of sight taken from first floor habitable room window of the adjoining properties. There are no habitable windows proposed in its flank walls that may result in overlooking and the bathroom windows could be conditioned so as to ensure they are obscure glazed and non opening.

It is therefore considered that the proposal would not have a significant adverse impact on the amenities of adjoining residential properties, in compliance with Policy BE21 Hillingdon Unitary Development Plan Saved Policies (September 2007) and the Council's HDAS (SPD) Residential Layouts .

7.09 Living conditions for future occupiers

The Council's HDAS (SPD) Residential Layouts provides recommended standards relating to floor space. It suggests that a 2-bedroom flat maintain a minimum gross internal floor space of 63m². The proposed dwelling would have a floor area of approximately 63sq.m in line with Council design criteria.

Policy BE23 of the UDP requires the provision of amenity space, which is usable in terms of its shape and siting. The Council's design guide Residential Layouts specifies a minimum amount of 25m² of amenity space for a 2-bedroom flat.

The proposal provides a 26sq.m of garden space for one of the dwellings while the other would have a 25sq.m of amenity space. This level of provision would normally be acceptable for a two-bedroom flat/maisonette.

However, the layout of the proposed maisonettes is such that the first floor accommodation for each flat is over the ground floor of the adjoining flat. In other words, the staircase landing area of the right-hand flat, which leads to its bedrooms is on top of

the left-hand flat, and vice versa.

Whilst the proposal has been described by the applicant as flatted accommodation, it is considered that the type of accommodation proposed here is not dissimilar in principle from a two bedroom house proposal, which is considered to represent an artificial configuration designed as an attempt to circumvent the Council's design guide and policies.

Officers consider that to allow this scheme as proposed is tantamount to allowing the semi-detached scheme, indeed the future occupants and use of the dwellings are likely to reflect those of semi-detached houses. In addition, it is considered that this type of development proposal, if allowed, could represent a misinterpretation and possible abuse of the Council's design guidance in a manner for which it was not designed.

It is therefore considered that whilst the level of garden provision meets the Council's minimum standard for a typical 2-bed flat, the design of the development is not of a typical flat or maisonette. In this respect the scheme shares many characteristics of a dwelling, such as separate entrances, separate front and rear gardens and arrangement over two floors. As such, the proposal would result in a much reduced and inadequate amenity area commensurate to the size and layout of the units, and further illustrates the cramped nature of the proposal. The proposals therefore contrary to Policy BE23 of the Hillingdon UDP Saved Policies (September 2007) and the Council's HDAS (SPD) Residential Layouts.

It should also be noted that the layout of the development in this respect is very similar to that which was refused by the Council under application 63421/APP/2008/1079. The approach in respect of these issues is consistent with that taken on the previous application, which represents a material consideration and has not been subject to an appeal.

7.10 Traffic impact, Car/cycle parking, pedestrian safety

Parking for the proposed development would be provided in two of the three retained garages opposite the proposed building. The Council's Car Parking Standards seeks a maximum of 2 off-street parking spaces per dwelling unit. The current proposal would have 2 off-street parking spaces for each of the units. Two of the existing garages and their driveways (the forecourt area) would be used for this purpose to each dwelling.

The proposed parking and access arrangements are identical to those which were previously proposed on application 63421/APP/2008/1079 to which the Local Planning Authority raised no objection on highways grounds.

Accordingly, the application is considered acceptable in this respect.

7.11 Urban design, access and security

Issues of design and access are addressed elsewhere within the body of this report. The proposal is not considered to give rise to any concerns relating to security.

7.12 Disabled access

London Plan Policy 3.8 (Housing Choice) and the Council's Supplementary Planning Document Accessible Hillingdon adopted January 2010 require all new residential developments to comply with Lifetime Homes standards.

The proposed development would not comply with these standards, nor is it clear whether it could be adapted to do so with out material changes. As such, the application should be refused for this reason.

7.13 Provision of affordable & special needs housing

Not relevant in this case.

7.14 Trees, landscaping and Ecology

The site is the land to either side of School Approach, currently occupied by garages and parking spaces.

There are no trees or other significant landscape features which might pose a constraint on development. Nor are there any Tree Preservation Orders on, or close to, the site, nor does it fall within a designated Conservation Area.

Subject to appropriate conditions an appropriate landscape layout would be achieved.

7.15 Sustainable waste management

The proposal indicates the provision of areas for the storage of waste and recycling which would be adequate to meet the needs of the development and appropriately located. Accordingly, the application is acceptable in this respect.

7.16 Renewable energy / Sustainability

Chapter 7 of the London Plan encourages developments to meet the highest standards of sustainable design. In the event that the application were to be approved a condition could be imposed requiring compliance with level 4 of the Code for Sustainable Homes, which would ensure the development met the minimum standards required by the London Plan.

7.17 Flooding or Drainage Issues

The application site is not located within a flood risk area and it is not considered that the proposal would give rise to any concerns relating to flooding or drainage.

7.18 Noise or Air Quality Issues

The proposed development is not of a scale or type which would give rise to concerns relating to noise or air quality.

7.19 Comments on Public Consultations

The concerns raised within the objection letters have been addressed within the body of the report.

The letter of support is noted.

7.20 Planning obligations

The proposed development is not of a scale which would give rise for the need to mitigate its impacts by way of planning obligations.

7.21 Expediency of enforcement action

Not applicable.

7.22 Other Issues

ACCESS TO NEIGHBOURING SITES

A number of concerns have been raised regarding the impact of the development on access to neighbouring sites. In respect of this issue it should firstly be noted that although some of the notes on the submitted drawing are poorly located, the proposal would not result in the closure of any access points or physically prevent access to either the school or a medical centre on a permanent basis.

In terms of impacts on access the application is no different from that which was allowed at appeal by the Secretary of State (Ref: APP/R5510/A/10/2129978/WF), the Inspector considered the matter of access at length and concluded that the development was

acceptable. The appeal decision represents a significant material consideration and the relevant extracts from the Inspectors report are included below:

12. Both schools and the health centre are concerned that the proposal would impede future access to their premises, thereby preventing doctors from parking at the health centre, and access for emergency vehicles to the adjacent school. Grange Park Junior School and Grange Park Infant & Nursery School have been identified for possible expansion and are concerned that the appeal proposal would limit such plans.

13. Although the proposed dwelling would extend closer to the roadway than the existing garages, it would be set back from the boundary formed by the existing palisade fence by about 1.5 metres. Therefore the existing access to the Health Centre and pedestrian access to the school would be unaltered as a result of the proposal.

14. I am aware that the submitted plans are annotated to the effect that the school, surgery and caretaker's residence do not have any right of way over the roadway. In addition, the Council submitted a deed from the Land Registry Appeal Decision that suggests the surgery does have access rights over this land. Nonetheless, rights of way over this land are a private matter between the parties and do not alter the planning considerations on which I have based my decision.

15. I therefore conclude that the proposal would not harm the access to the adjoining Health Centre or school and would comply with UDP policy R11 which seeks to safeguard land and buildings used for a variety of purposes including health and education, and policy BE14 which aims to safeguard the development potential of adjacent land.'

Having regard to the Inspectors appeal decision no objection is raised in terms of the impact of the development on access to neighbouring sites.

8. Observations of the Borough Solicitor

When making their decision, Members must have regard to all relevant planning legislation, regulations, guidance, circulars and Council policies. This will enable them to make an informed decision in respect of an application.

In addition Members should note that the Human Rights Act 1998 (HRA 1998) makes it unlawful for the Council to act incompatibly with Convention rights. Decisions by the Committee must take account of the HRA 1998. Therefore, Members need to be aware of the fact that the HRA 1998 makes the European Convention on Human Rights (the Convention) directly applicable to the actions of public bodies in England and Wales. The specific parts of the Convention relevant to planning matters are Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

Article 6 deals with procedural fairness. If normal committee procedures are followed, it is unlikely that this article will be breached.

Article 1 of the First Protocol and Article 8 are not absolute rights and infringements of these rights protected under these are allowed in certain defined circumstances, for example where required by law. However any infringement must be proportionate, which means it must achieve a fair balance between the public interest and the private interest infringed and must not go beyond what is needed to achieve its objective.

Article 14 states that the rights under the Convention shall be secured without discrimination on grounds of 'sex, race, colour, language, religion, political or other opinion, national or social origin, association with a national minority, property, birth or other status'.

9. Observations of the Director of Finance

10. CONCLUSION

The application seeks the erection of 2, two bedroom, two storey semi detached maisonettes with associated amenity space, parking spaces in and adjacent to existing garages, boundary wall to front and removal of existing vehicular crossover involving the demolition of 3 garages.

A non-determination appeal has been lodged and as such the Local Planning Authority must advise the Planning Inspectorate of its views on the application.

The proposal would have an unacceptable visual appearance within the street scene. In addition it would result in unacceptable living conditions for future occupiers and would fail to provide adequate levels of inclusive design.

In respect of impacts on access to neighbouring sites, including the health centre and school, this has been subject to a previous appeal decision which represents a material consideration. As such, no objection is raised in this respect.

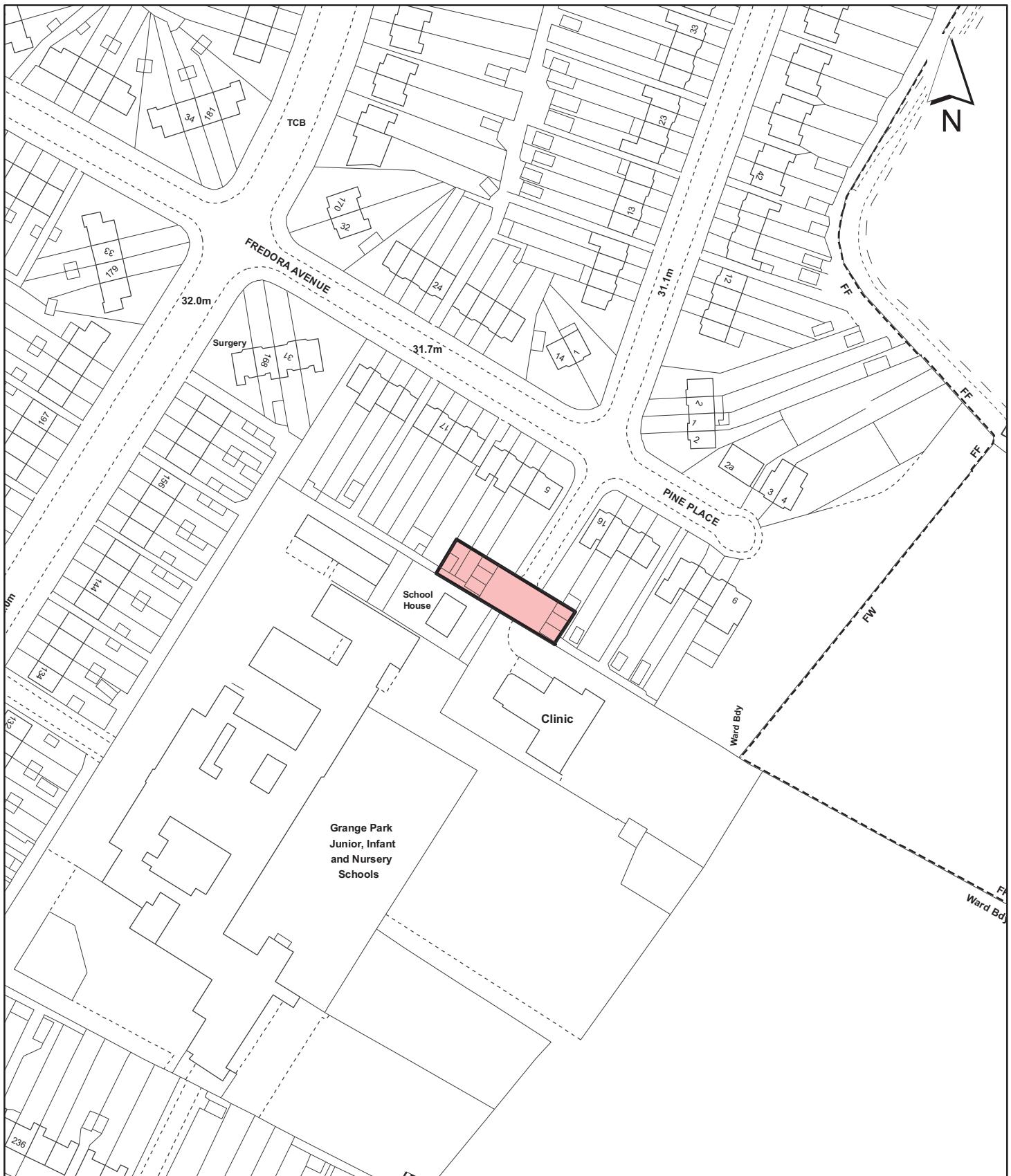
Overall, the application it is recommended that the Planning Inspectorate be advised that had an appeal against non-determination not been received the application would have been refused.

11. Reference Documents

The London Plan 2011
Hillingdon Unitary Development Plan Saved Policies (September 2007)

Contact Officer: Adrien Waite

Telephone No: 01895 250230



Notes

 Site boundary

For identification purposes only.

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Site Address

**1,2,4,5 & 6 School Approach
Fredora Avenue
Hayes**

**LONDON BOROUGH
OF HILLINGDON**
Planning,
Environment, Education
& Community Services
Civic Centre, Uxbridge, Middx. UB8 1UW
Telephone No.: Uxbridge 250111

Planning Application Ref:

63421/APP/2011/1035

Scale

1:1,250

Planning Committee

Central and South

Date

**August
2011**



HILLINGDON
LONDON

Agenda Item 7

Report of the Head of Planning & Enforcement Services

Address: THE FORGE ST STEPHENS ROAD YIEWSLEY

Development: Change of use from Class B1 (Business) to Class D1 (Non-residential Institutions) for use as Islamic Culture and Educational Community Centre (Retrospective).

LBH Ref Nos: 67384/APP/2010/2499

Drawing Nos: Design & Access Statement
1:1250 Scale Location Plan
Green Travel Plan
FIEC/FULL/PLAN/04
FIEC/FULL/PLAN/03
FIEC/FULL/PLAN/01
FIEC/FULL/PLAN/02

Date Plans Received: 27/10/2010 **Date(s) of Amendment(s):**

Date Application Valid: 08/12/2010

1. SUMMARY

Planning permission is sought for the change of use of an existing building from Class B1 (Business) to Class D1 (Non-residential Institutions) for use as an Islamic Culture and Educational Community Centre. The building is located in the Trout Road Industrial and Business Area (IBA) in the Hillingdon Unitary Development Plan Saved Policies (September 2007). The proposed use conflicts with Policy LE2 of the Unitary Development Plan. The 2009 Employment Land Study carried out as part of the Local Development Framework (LDF) process, recommends that this part of the IBA be retained for employment uses. The proposed use therefore conflicts with Policy LE2 of the Unitary Development Plan. Additionally, the proposal fails to provide adequate car parking facilities and is likely to lead to additional on street parking to the detriment of highway and pedestrian safety. Accordingly, it is recommended that planning permission be refused for these reasons.

2. RECOMMENDATION

REFUSAL for the following reasons:

1 NON2 Loss of industrial floorspace

The site is located in the Trout Road Industrial and Business Area, which is identified by the Council as an industrial business area which is to be retained, and the application has failed to demonstrate that there is no realistic prospect of the land being used for industrial purposes in the future. As such, the proposal is contrary to Policy LE2 of the Hillingdon Unitary Development Saved Policies (September 2007).

2 NON2 Sterilisation of Industrial and Business Area

The position of sensitive land uses, including community uses, adjacent to industrial units could affect the ability of the Trout Road Industrial and Business Area to function effectively, neutralising existing industrial uses within the estate. The proposal is

therefore contrary to Policy LE2 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

3 NON2 Inadequate on-site car parking facilities

The proposal fails to provide adequate on-site car parking facilities for the proposed use and is therefore likely to result in additional on-street parking to the detriment of the free flow of traffic including commercial traffic associated with near by businesses and highway and pedestrian safety and a loss of residential amenity. The development is therefore contrary to Policies AM7, AM14 and BE19 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

INFORMATIVES

1 I52 Compulsory Informative (1)

The decision to REFUSE planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

2 I53 Compulsory Informative (2)

The decision to REFUSE planning permission has been taken having regard to the policies and proposals in the Hillingdon Unitary Development Plan Saved Policies (September 2007) set out below, including Supplementary Planning Guidance, and to all relevant material considerations, including the London Plan (July 2011) and national guidance.

OE1	Protection of the character and amenities of surrounding properties and the local area
OE3	Buildings or uses likely to cause noise annoyance - mitigation measures
R9	Proposals for the use of buildings for religious and cultural purposes
R16	Accessibility for elderly people, people with disabilities, women and children
LE2	Development in designated Industrial and Business Areas
AM1	Developments which serve or draw upon more than a walking distance based catchment area - public transport accessibility and capacity considerations
AM2	Development proposals - assessment of traffic generation, impact on congestion and public transport availability and capacity
AM7	Consideration of traffic generated by proposed developments.
AM9	Provision of cycle routes, consideration of cyclists' needs in design of highway improvement schemes, provision of cycle parking facilities
AM14	New development and car parking standards.
AM15	Provision of reserved parking spaces for disabled persons

3

'You are advised that the streets surrounding the site are subject to a parking management scheme (West Drayton / Yiewsley Parking Management Scheme (Zone Y1)), which limits the ability to accommodate on street car parking associated with the proposed use.'

3. CONSIDERATIONS

3.1 Site and Locality

The application site comprises a part single storey building with a floor area of approximately 280 sq metres located in the Trout Road Industrial and Business Area. The use for which planning permission is sought has already commenced. The applicant has advised that prior to it occupying the building, it was vacant for approximately 3 months prior to which it was used as a food distribution warehouse.

The site adjoins the Grand Union Canal on one side and Yiewsley/West Drayton Town Centre on the other and has a PTAL (Public Transport Accessibility Level score of 2. St Stephens Road comprises a mixture of residential and commercial properties including St Matthews C of E Primary School and is within a parking management area.

3.2 Proposed Scheme

Planning permission is sought for the change of use of the building from Class B1 (Business) to Class D1 (Non-residential Institutions) for use as an Islamic Culture and Educational Community Centre. The applicant has advised that the centre would provide Islamic education to both Muslims and non-Muslims and would enable migrants who have recently settled in the area to be educated. Classes would be provided on the first floor of the building including Computer, English language, Social and Community Services and Islamic Culture. The ground floor would provide a prayer area for the members attending the centre as well as a room for welfare and social services, a library and rest room for the elderly; a games room and computer room for the youth. No alterations are proposed to the external fabric of the building. On average, the centre is expected to receive between 20 and thirty persons daily and operate from 8.00am to 11.00pm seven days a week.

3.3 Relevant Planning History

Comment on Relevant Planning History

None. The site previously comprised an established business/industrial unit. The use for which planning permission is sought has already commenced.

4. Planning Policies and Standards

Planning Policy Statement 1 (Delivering Sustainable Development) (January 2005)
Planning Policy Statement 4 (Planning for Sustainable Economic Growth) (December 2009)
Planning Policy Guidance Note 13 (Transport) (April 2001)
The London Plan (February 2008)
Hillingdon Unitary Development Plan Saved Policies (September 2007)
Hillingdon Design and Accessibility Statement - Accessible Hillingdon (January 2010)
Planning Obligations Supplementary Planning Document (July 2008)
Local Development Framework Employment Land Study July 2009

The relevant policies of the Hillingdon Unitary Development Plan Saved Policies (September 2007) are referenced in the relevant section below.

UDP / LDF Designation and London Plan

The following UDP Policies are considered relevant to the application:-

Part 1 Policies:

- PT1.10 To seek to ensure that development does not adversely affect the amenity and the character of the area.
- PT1.24 To reserve designated Industrial and Business Areas as the preferred locations for industry and warehousing.
- PT1.26 To encourage economic and urban regeneration in the Hayes/West Drayton Corridor, designated Industrial and Business Areas (IBA's) and other appropriate locations.
- PT1.30 To promote and improve opportunities for everyone in Hillingdon, including in particular women, elderly people, people with disabilities and ethnic minorities.
- PT1.31 To encourage the development and support the retention of a wide range of local services, including shops and community facilities, which are easily accessible to all, including people with disabilities or other mobility handicaps.

Part 2 Policies:

- OE1 Protection of the character and amenities of surrounding properties and the local area
- OE3 Buildings or uses likely to cause noise annoyance - mitigation measures
- R9 Proposals for the use of buildings for religious and cultural purposes
- R16 Accessibility for elderly people, people with disabilities, women and children
- LE2 Development in designated Industrial and Business Areas
- AM1 Developments which serve or draw upon more than a walking distance based catchment area - public transport accessibility and capacity considerations
- AM2 Development proposals - assessment of traffic generation, impact on congestion and public transport availability and capacity
- AM7 Consideration of traffic generated by proposed developments.
- AM9 Provision of cycle routes, consideration of cyclists' needs in design of highway improvement schemes, provision of cycle parking facilities
- AM14 New development and car parking standards.
- AM15 Provision of reserved parking spaces for disabled persons

5. Advertisement and Site Notice

5.1 Advertisement Expiry Date:- 19th January 2011

5.2 Site Notice Expiry Date:- Not applicable

6. Consultations

External Consultees

64 neighbours including the Yiewsley Community Involvement Group were consulted on the application. 8 individual replies including a reply from the Garden City Residents' Association and 2 petitions containing 30 and 40 signatures respectively have been received objecting to the application on the following grounds:

Central & South Planning Committee - 6th September 2011
PART 1 - MEMBERS, PUBLIC & PRESS

1. Increase in traffic and on-street parking.
2. Building will principally be used as a mosque.
3. Obstruction to emergency services from on-street parking.
4. Noise and general disturbance from increased activity.
5. Building was not vacant for long and is not derelict.
6. Application misses an opportunity to enhance the appearance of the site.
7. Hours of operation are excessive and would result in a loss of residential amenity.
8. Dangerous location of site on a sharp bend.
9. Danger to unsupervised children leaving the centre via the canal towpath.
10. No need for a third educational facility given the location of St Stephens and St Matthews Schools.
11. St Stephens Road is already very congested.

A further 20 individual replies and a petition containing 57 signatures have been received in support of the application on the grounds that it would meet a local need and promote community cohesion. In addition, a reply has been received from the Chair of Hillingdon Inter Faith Network commenting as follows:

1. Were the site to remain as B1 (Office) the traffic flow during peak times would potentially increase, when in use, causing greater danger/pressure.
2. Apart from a few places for staff/disabled, there are patently no parking facilities. This is similar to the three nearest Christian places of worship. To deny change of use due to on-site parking facilities could be deemed an equal opportunity issue.
3. The public car park within 2/3 minutes walk has a capacity of over 150 places. This is greater than at the Pump Lane centre. I would beg to suggest that the site is one of the best in Yiewsley for the needs of the group.
4. Council demographics demonstrate the growth in size of the muslim community across the Borough. It is important to support the faith leaders of these communities in building community cohesion. This site would seem to provide for their immediate needs and provide a much needed community base.
5. It is important for the wider community to encourage community cohesion for the wider community to have local places of worship where they can see/contact/be invited to visit. This centre is much needed in the Yiewsley/West Drayton area. By approving this proposal, the Council would be supporting the wider community.

Internal Consultees

ENVIRONMENTAL PROTECTION UNIT

I refer to your request for comment on the above application.

In the design and access statement it is stated that The Forge building is leased for 2 years and it is hoped to gain permission on a temporary basis until a more suitable freehold premises are located.

The Forge is within a commercial and suburban area. Due to residents living in close proximity, I would be concerned about activities which would cause any noise disturbance. This is also of concern due to the hours of opening being from 6am - 11pm for 7 days a week. It has also been stated that the evening period may be the busiest time at the centre.

The community and culture centre will be providing social, religious, recreational and educational activities. The activities for youth age 16-21 include a number of recreational activities throughout the week, such as table tennis, badminton, football and cricket.

Further information is required to be submitted regarding whether these activities will take place within the games room or whether any recreational activities are to take place in outside areas within the grounds. The timetable for these activities should also be submitted.

There is also concern as to whether any religious festivals and celebrations are to take place at the centre, as noise complaints from chanting, drumming and amplification of music and speech have been received by the Environmental Protection Unit, regarding religious centres in close proximity to residential properties.

Further information is required to be submitted regarding a timetable of religious festivals and celebrations and an assessment of any noise that may impact on local residents. Mitigation measures should also be submitted if deemed necessary.

According to the application form, no plant, ventilation or air conditioning plant is required. However, if these are considered necessary, then details will be required to be submitted to the local planning authority and Environmental Protection Unit.

Officer comments:

In response to the above comments the applicant has advised that recreational activities such as table tennis, snooker and access to the internet would take place within the building. These activities would be available for the youth 7 days a week, 9.00am until 5.30pm. Other activities such as badminton, football and cricket would take place outside the grounds due to insufficient space and would be organised by the committee at a later stage in more suitable locations. The applicant has also stated that the centre would not be used for religious festivals which have chanting, drumming or amplification of any type of music and would be prepared to insulate the walls of the building with appropriate material. It is considered that these matters could be controlled by suitable conditions in the event of planning permission being granted.

HIGHWAY ENGINEER

1. Floor Area 280 sq m. Previous use B1 (office). Max. Parking requirement for B1 use is 2.8 i.e. 3 spaces.
2. Current proposal - 4 parking spaces shown. Parking space 2 is sub standard as it would encroach over the carriageway of the public highway. Standard parking space needs to be 2.4 x 4.8 m. With space PS 2 deleted PS 1, and PS 3 could be used as disabled bays. Therefore the development is only able to provide 2 independently accessed parking spaces.
3. Whilst the information submitted acknowledges that there is a shortfall in the on site parking provision it does not provide a figure for the likely demand for parking generated by the proposed use. It relies on on-street parking ,pay and display bays on the street and public car parks. No information has been provided on the availability of spaces in such areas during the times the development would be in use.
4. The travel plan states that majority of patrons will walk to the facility. That may well be the case however no evidence of the community residing within the local area has been provided. The nearest free parking is on the lay-by opposite the school in St Stephens Road which is heavily used at present.

Based on the information submitted to date it is our concern that the development has failed to satisfactorily demonstrate that it will not cause on-street parking to the detriment of highway and pedestrian safety.

ACCESS OFFICER

The plans submitted would suggest that this building and its facilities would be inaccessible to disabled people using wheelchairs. Whilst it is appreciated that this is an existing building, the Equality Act 2010 seeks to protect people accessing goods, facilities and services from direct discrimination on the basis of a 'protected characteristic', which includes those with a disability. As part of the Act, service providers are obliged to improve access to and within the structure of their building, particularly in situations where reasonable adjustment can be incorporated with relative ease.

The Act states that service providers should think ahead to take steps to address barriers that impede disabled people.

1. Level access should be provided and a minimum door width of 1000mm for a single door, or 1800mm for a double door, achieved.
2. All signage for directions, services or facilities should be provided in a colour contrasting with the background. Signage and lighting levels should be consistent throughout the building and care taken to avoid sudden changes in levels.
3. Internal door widths should provide a minimum clear opening width of 750mm to facilitate adequate access for wheelchair users. Internal doors should also have 300mm unobstructed space to the side of the leading edge.
4. The proposed plan does not currently include any WC provision for disabled people and at least one accessible unisex toilet is required on the ground floor. It may be more beneficial to provide one large cubicle that would be accessible to everybody, as opposed to two smaller toilet compartments, which would exclude wheelchair users.
5. Toilets should be designed in accordance with the guidance given in Approved Document M to the Buildings Regulations 2004.
6. Alarm systems should be designed to allow deaf people to be aware of its activation. (Such provisions could include visual fire alarm activation devices, and/or a vibrating pager system.)
7. Consideration should be given to ensure that arrangements exist to provide adequate means of escape for all, including wheelchair users. Fire exits should incorporate a suitably level threshold and should open onto a suitably level area.

Advice from a suitably qualified Fire Safety Officer concerning emergency egress for disabled people should be sought at an early stage.

Recommended Informatives:

8. Induction loops should be specified to comply with BS 7594 and BS EN 60118-4, and a term contract planned for their maintenance.
9. Care must be taken to ensure that overspill and/or other interference from induction loops in different/adjacent areas does not occur.
10. Flashing beacons/strobe lights linked to the fire alarm should be carefully selected to ensure they remain within the technical thresholds not to adversely affect people with epilepsy.

Conclusion:

In its current form, the ground floor would be unsuitable for use by disabled people. On the basis that the above observations could be incorporated into revised plans, no objection would be raised in terms of accessibility.

Officer comments:

It is considered that the above requirements could be secured by an appropriate condition in the event of planning permission being granted.

7. MAIN PLANNING ISSUES

7.01 The principle of the development

Policy R9 of the Hillingdon Unitary Development Plan Saved Policies (September 2007) supports in principle buildings to be used for religious and cultural purposes subject to other policies of the Plan. However, the site is located within the Trout Road Industrial and Business Area and this Policy needs to be tempered with Policy LE2 which states that in industrial and Business Areas the Local Planning Authority will not permit development for uses other than for business, industrial and warehousing purposes unless it is satisfied that:-

- (i) There is no realistic prospect of the land being used for industrial or warehousing purposes in the future; and
- (ii) The proposed alternative use does not conflict with the policies and objectives of the Plan.
- (iii) The proposal better meets the Plan's objectives particularly in relation to affordable housing and economic regeneration.

The 2009 Employment Land Study carried out as part of the Local Development Framework (LDF) process, has recommended that this part of the IBA be retained for employment uses.

The applicant's agent has advised as follows:

'...The site was placed on the market in early 2009 when it became vacant. During that time marketing was to some 700 agents and 2000 companies at prices at or below the market level. No industrial users were forthcoming at any price, the only expression of interest being from the applicant. I concur with the applicant that the condition of the building, narrow road and close proximity to residential dwellings do not help attract business users.

Whilst I acknowledge that the site could be used for other purposes within Class B1, in view of the period and intensity of the previous marketing, the lack of potential industrial occupiers, the proximity of the larger and more modern part of the IBA, as well as the restricted road access, I consider it unlikely that such a user would come forward, particularly in the current economic climate.

I therefore consider that there is little prospect of the site being used for industrial purposes having regard to the age and layout of the building, marketing/advertising and the existence of more suitably located and modern industrial premises in the area, and therefore criterion (i) of Policy LE2 would be met...'

The Policy Team has advised that it would normally expect a viability assessment to be submitted with the application to address issues raised in Policy LE2. Such assessments

generally contain evidence that attempts have been made to market the site over a long period of time. No detailed assessment has been submitted with the application. It is therefore considered that the applicant has failed to demonstrate that there is no realistic prospect of the land being used for industrial purposes in the future. As such, the proposal is contrary to Policy LE2 of the Hillingdon Unitary Development Saved Policies (September 2007) and it is recommended that planning permission be refused for this reason.

Furthermore, the position of sensitive land uses, including community uses, adjacent to industrial units could affect the ability of the Trout Road Industrial and Business Area to function effectively, neutralising existing industrial uses within the estate. This would again be contrary to Policy LE2 of the Hillingdon Unitary Development Plan Saved Policies (September 2007) and it is recommended that planning permission also be refused for this reason.

7.02 Density of the proposed development

Not relevant to the application.

7.03 Impact on archaeology/CAs/LBs or Areas of Special Character

Not relevant to the application.

7.04 Airport safeguarding

Not relevant to the application.

7.05 Impact on the green belt

Not relevant to the application.

7.07 Impact on the character & appearance of the area

Policy BE15 of the Hillingdon Unitary Development Plan Saved Policies (September 2007) states that proposals for alterations and extensions to existing buildings will be permitted where they harmonise with the scale, form, architectural composition and proportions of the original building. No alterations are proposed to the external fabric of the building. The proposal therefore accords with this Policy.

7.08 Impact on neighbours

The proposal raises two potential issues in relation to the impact on neighbours. Firstly, noise and secondly traffic generation and consequent impact on on-street parking facilities in the area. The issue of noise is dealt with in Section 7.18. Traffic generation and potential impact on on street parking are dealt with in Section 7.10.

7.09 Living conditions for future occupiers

Not relevant to the application.

7.10 Traffic impact, Car/cycle parking, pedestrian safety

The Highways Engineer has advised that the development is only able to provide 2 independently accessed car parking spaces. Whilst the information submitted with the application acknowledges that there is a shortfall in the on site parking provision it does not provide a figure for the likely demand for parking generated by the proposed use. It relies on on-street parking, pay and display bays on the street and public car parks. No information has been provided on the availability of spaces in such areas during the times the development would be in use.

The travel plan submitted with the application states that majority of patrons will walk to the facility. However the applicant has submitted a list of patrons attending the centre and this indicates they live up to a mile from the centre and beyond a reasonable walking distance. The nearest free parking is on the lay-by opposite the school in St Stephens

Road which is heavily used at present.

Based on the information submitted it is considered that the development has failed to satisfactorily demonstrate that it will not cause on-street parking to the detriment of highway and pedestrian safety. It is therefore recommended that planning permission also be refused for this reason.

With respect to cycle parking a bike store is shown at the rear of the building. This could be secured by an appropriate condition in the event of planning permission being granted.

7.11 Urban design, access and security

The proposal would not have any urban design implications. The issue of access is dealt with in Section 7.12. The provision of appropriate security measures to the site, including CCTV, could be secured by an appropriate condition in the event of planning permission being granted.

7.12 Disabled access

The Access Officer has made a number of recommendations concerning the provision of adequate facilities for people with disabilities. These could be secured by an appropriate condition in the event of planning permission being granted.

7.13 Provision of affordable & special needs housing

Not relevant to the application.

7.14 Trees, landscaping and Ecology

The proposal relates purely to the change of use of an existing building and would have no impact on existing landscaping.

7.15 Sustainable waste management

An area for bin storage is shown at the rear of the building. Details of this could be secured by an appropriate condition in the event of planning permission being granted.

7.16 Renewable energy / Sustainability

In the light of the age of the building and the fact that the application is purely a change of use with no changes proposed to the external fabric of the building, no specific renewable energy/sustainability measures are considered appropriate in this instance.

7.17 Flooding or Drainage Issues

No flooding or drainage issues have been identified.

7.18 Noise or Air Quality Issues

The Environmental Protection Unit has raised a number of potential noise issues in relation to the proposed use. The applicant has advised that all noise generating activities would be confined to within the building and is prepared to implement appropriate insulation measures to avoid noise breakout. In addition, it has confirmed there would be no religious festivals at the premises. It is considered that these matters could be controlled by appropriate conditions in the event of planning permission being granted. No specific air quality issues have been identified.

7.19 Comments on Public Consultations

The planning issues raised are dealt with in the body of the report. A number of the concerns raised are supported in the proposed reasons for refusal.

7.20 Planning obligations

The provision of a Travel Plan would be secured by a condition in the event of planning permission being granted. No other planning obligations are considered appropriate in this instance.

7.21 Expediency of enforcement action

The issue of enforcement action is the subject of a separate report to the Committee.

7.22 Other Issues

None identified.

8. Observations of the Borough Solicitor

When making their decision, Members must have regard to all relevant planning legislation, regulations, guidance, circulars and Council policies. This will enable them to make an informed decision in respect of an application.

In addition Members should note that the Human Rights Act 1998 (HRA 1998) makes it unlawful for the Council to act incompatibly with Convention rights. Decisions by the Committee must take account of the HRA 1998. Therefore, Members need to be aware of the fact that the HRA 1998 makes the European Convention on Human Rights (the Convention) directly applicable to the actions of public bodies in England and Wales. The specific parts of the Convention relevant to planning matters are Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

Article 6 deals with procedural fairness. If normal committee procedures are followed, it is unlikely that this article will be breached.

Article 1 of the First Protocol and Article 8 are not absolute rights and infringements of these rights protected under these are allowed in certain defined circumstances, for example where required by law. However any infringement must be proportionate, which means it must achieve a fair balance between the public interest and the private interest infringed and must not go beyond what is needed to achieve its objective.

Article 14 states that the rights under the Convention shall be secured without discrimination on grounds of 'sex, race, colour, language, religion, political or other opinion, national or social origin, association with a national minority, property, birth or other status'.

9. Observations of the Director of Finance

10. CONCLUSION

The building is located in the Trout Road Industrial and Business Area (IBA) in the Hillingdon Unitary Development Plan Saved Policies (September 2007). The 2009 Employment Land Study carried out as part of the Local Development Framework (LDF) process, recommends that this part of the IBA be retained for employment uses. The proposed use therefore conflicts with Policy LE2 of the Unitary Development Plan. Additionally, the proposal fails to provide adequate car parking facilities and is likely to

lead to additional on street parking to the detriment of highway and pedestrian safety. Accordingly, it is recommended that planning permission be refused for these reasons

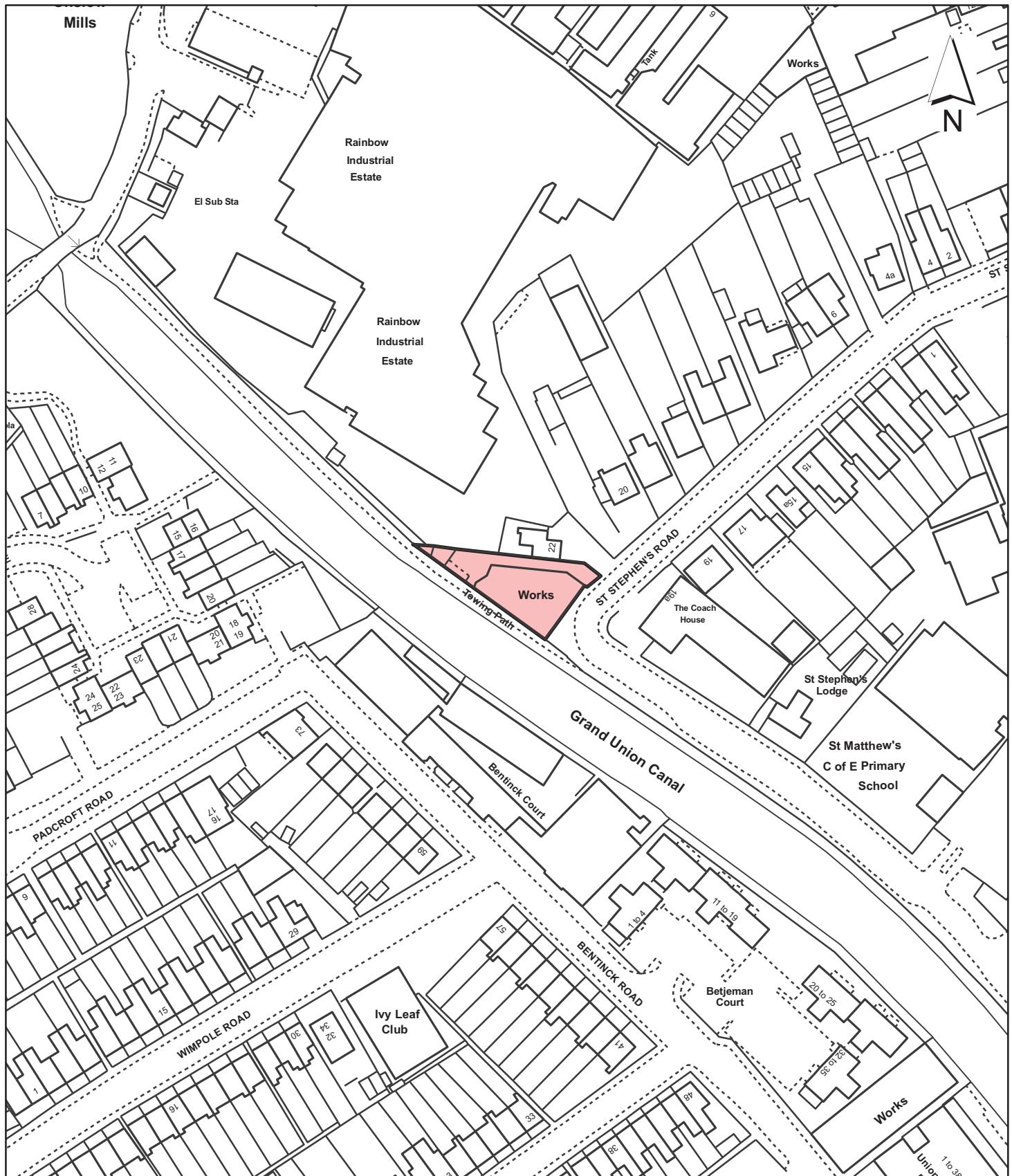
11. Reference Documents

Planning Policy Statement 1 (Delivering Sustainable Development) (January 2005)
Planning Policy Statement 4 (Planning for Sustainable Economic Growth) (December 2009)
Planning Policy Guidance Note 13 (Transport) (April 2001)
The London Plan (February 2008)
Hillingdon Unitary Development Plan Saved Policies (September 2007)
Hillingdon Design and Accessibility Statement - Accessible Hillingdon (January 2010)
Planning Obligations Supplementary Planning Document (July 2008)
Local Development Framework Employment Land Study July 2009

The relevant policies of the Hillingdon Unitary Development Plan Saved Policies (September 2007) are referenced in the relevant section below.

Contact Officer: Mark Smith

Telephone No: 01895 250230



Notes

 Site boundary

For identification purposes only.

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Site Address

**The Forge
St. Stephens Road
Yiewsley**

**LONDON BOROUGH
OF HILLINGDON**
Planning,
Environment, Education
& Community Services
Civic Centre, Uxbridge, Middx. UB8 1UW
Telephone No.: Uxbridge 250111

Planning Application Ref:

67384/APP/2010/2499

Scale

1:1,250

Planning Committee

Central and South

Date

**July
2011**



HILLINGDON
LONDON

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Agenda Item 8

Report of the Head of Planning & Enforcement Services

Address 4 HAROLD AVENUE HAYES

Development: Single storey side and rear wraparound extension

LBH Ref Nos: 67940/APP/2011/1780

Drawing Nos:
1604/1 Rev A
1604/4 Rev B
Location Plan
Planning Statement
1604/5 Rev A

Date Plans Received: 20/07/2011

Date(s) of Amendment(s): 21/07/2011

Date Application Valid: 01/08/2011

1. CONSIDERATIONS

1.1 Site and Locality

The application relates to a single storey detached bungalow, located on the eastern side of Harold Avenue. The interior of the dwelling is currently in a dilapidated state and requires extensive work to bring the property back into habitable condition. The property has a stepped rear building line with the rear elevation of the kitchen set 1.35 metres deeper into the garden than the rear elevation of the living room.

The property has an area of hardstanding in front of the principal elevation, which provides parking for up to two cars. At the rear, the property has a sizeable private garden which is used as the amenity space for the dwelling.

Harold Avenue is a small street linking North Hyde Road and Nestles Avenue, containing ten residential dwellings. The streetscene is composed predominantly of detached bungalows of uniform architectural appearance. A number of these dwellings have undergone extensions to the rear, which have been completed prior to the introduction of the current Hillingdon Design and Access Statement Residential Extensions.

1.2 Proposed Scheme

The application is for planning permission for the erection of a single storey side and rear extension, which would wraparound the northern side and rear elevations of the property.

The proposed side extension would be set flush with the principal elevation and would extend beyond the existing side elevation by a width of 1.25 metres, retaining a distance separation to the northern side boundary line of 0.9 metres. The extension would have a

depth of 12.65 metres, retaining the 0.9 metre distance separation for the depth of the extension. The side extension would entail the erection of a low level hipped roof, with the angle of the hip matching the angle of the original hipped roof of the dwelling.

The rear extension would remove the inward step in the rear elevation, creating a flat building line. This would entail the erection of a rear extension which would extend 4 metres beyond the rear wall of the existing kitchen and 5.3 metres beyond the rear wall of the existing living room. The proposed rear extension would be built up to the southern side boundary line, shared with 6 Harold Avenue, and would include a set of sliding patio doors in the rear elevation and a mansard-style flat roof design.

The single storey wraparound extension would have a maximum height above ground level of 3.75 metres to the flat roof of the extension, with the eaves set 2.55 metres above ground level. The proposed development would be erected out of brick, pebble-dash, red tiles and white-Upsc windows and doors, all to match the external materials of the existing dwelling.

1.3 Relevant Planning History

67940/APP/2011/1760 4 Harold Avenue Hayes

Single storey side/rear extension, conversion of roof space to habitable use to include a rear dormer, 3 front rooflights and conversion of roof from hip to gable ends and single storey detached outbuilding to rear for use as store involving demolition of existing detached garage to rear (Application for a Certificate of Lawful Development for a Proposed Development)

Decision Date: 24-08-2011 **Approved**

Appeal:

Comment on Planning History

A Certificate of Lawful Development has been granted for the erection of a proposed single storey side extension and a single storey rear extension under application reference 67940/APP/2011/1760. In addition, the application for a Certificate of Lawful Development included the conversion of the roof from hipped to gable ends, a rear dormer, three roof lights and the replacement of a single storey outbuilding. As that proposal meets the requirements of the General Permitted Development Order, the certificate was approved.

The development proposed in this full planning application differs from the aforementioned certificate of lawful development as it would create a wraparound extension, linking the side and rear extensions. In addition, the certificate of lawful development only granted a four metre deep rear extension. This application for planning permission would increase the rear extension by an additional 1.3 metres past the rear elevation of the existing living room.

2. Advertisement and Site Notice

2.1 Advertisement Expiry Date:- Not applicable

2.2 Site Notice Expiry Date:- Not applicable

3. Comments on Public Consultations

Advertisement Expiry Date: Not Applicable

Site Notice Expiry Date: Not Applicable

13 neighbouring dwellings were consulted with regard to the proposed development, including Nos. 2 & 6 Harold Avenue, No. 142 Nestles Avenue and Nos. 2, 3 & 4 Gordon Crescent who share a boundary line with the applicant dwelling.

No responses have been received from any neighbouring occupier.

Environmental Protection: No major comments, however, recommend a construction site informative is added to any approval granted.

The application has been passed to Central and South Planning Committee for determination as the applicant is a Councillor of the London Borough of Hillingdon.

4. UDP / LDF Designation and London Plan

The following UDP Policies are considered relevant to the application:-

Part 1 Policies:

PT1.10 To seek to ensure that development does not adversely affect the amenity and the character of the area.

Part 2 Policies:

AM14 New development and car parking standards.

BE13 New development must harmonise with the existing street scene.

BE15 Alterations and extensions to existing buildings

BE19 New development must improve or complement the character of the area.

BE20 Daylight and sunlight considerations.

BE21 Siting, bulk and proximity of new buildings/extensions.

BE23 Requires the provision of adequate amenity space.

BE24 Requires new development to ensure adequate levels of privacy to neighbours.

BE38 Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.

LPP 3.5 (2011) Quality and design of housing developments

HDAS-EXT Residential Extensions, Hillingdon Design & Access Statement, Supplementary Planning Document, adopted December 2008

5. MAIN PLANNING ISSUES

The main issues for consideration in determining this application relate to the effect of the proposal on the character and appearance of the original house, the impact on amenity of the neighbouring dwellings, the impact on the visual amenities of the surrounding area, the retention of amenity space within the application property and the availability of parking.

Paragraph 4.5 of the HDAS Residential Extensions requires a single storey side extension to be between half and two-thirds the width of the original house. The 1.25 metre side extension would be less than half the width of the 9 metre wide dwelling.

In addition, paragraph 4.2 of the HDAS Residential Extensions requires a single storey side extension to have a pitched roof no higher than 3.4 metres above ground level. The proposed side extension would be 3.75 metres above ground level.

Whilst the proposed side extension would be contrary to the guidance on side extensions provided within Chapter 4 of the HDAS. The dimensions of the proposed side extension would be equal to the side extension which has been permitted under the certificate of lawful development which has recently been granted.

The fact that there is a Certificate of Lawful Development issued in relation to this site is an important material planning consideration in the assessment of the current full planning application. That is to say where the current application would be of a size and design which is identical to that allowed as permitted development, no objection is raised.

Whilst the rear extension would be 0.35 metres higher above ground level than the height limit suggested in paragraph 3.7 of the HDAS Residential Extensions, the proposed height is the same as that already allowed under permitted development. In this case a reduction in the height of the current scheme of 0.35m would serve little purpose in the context of the permitted development extensions already allow that the juxtaposition between the higher and lower roof form would look very awkward in the context application proposed.

IMPACT ON No. 6 HAROLD AVENUE

The proposed development would entail the erection of a rear extension which would extend 5.3 metres beyond the rear elevation of the existing living room. This would contravene paragraph 3.4 of the HDAS Residential Extensions which permits a detached house to have a single storey rear extension up to 4 metres in depth.

The primary objective of restricting rear extensions to 4 metres in depth is to protect the amenity of the neighbouring dwellings. The 5.3 metre rear extension would be built up to the boundary line shared with 6 Harold Avenue. This neighbouring dwelling has a rear elevation with no windows in the northern side of the rear elevation. The only windows in the rear elevation are on the southern side, which is stepped back from the northern side. It should also be noted that rear elevation of No. 6 Harold Avenue Closest to the site boundary has a greater depth than No. 4 Harold Avenue, such that the extension would not be read as 5.3m deep. Therefore, the proposed development would not breach the 45 degree guideline from any existing window in the rear elevation, when measured from 6 Harold Avenue.

6 Harold Avenue has an extant planning permission for a single storey rear extension which would create a flat building line in the rear elevation and infill an area of space on the southern side of the building. As part of the development, a new window would be installed on the northern side of the rear elevation. However, as this neighbouring dwelling is set 2.2 metres from the boundary line shared with the applicant dwelling. There would still be no conflict of the 45 degree guideline caused by the proposed development, if the owners of 6 Harold Avenue implemented their extant permission, which is due to expire on 25th September 2011.

Whilst the proposed 5.3 metre rear extension would contravene Chapter 3 of the HDAS Residential Extensions, it would not cause sufficient harm to the appearance of the applicant property or the amenity of the neighbouring dwellings, through loss of light or

outlook, to be considered contrary to Policies BE15, BE20 & BE21 of the adopted Unitary Development Plan (Saved Policies September 2007).

IMPACT ON No. 2 HAROLD AVENUE

The proposed development would also link the side and rear extensions, which have been granted permission under the lawful development certificate. This extension would be built 0.9 metres from the boundary line shared with 2 Harold Avenue.

It should be noted that under the Certificate of Lawfulness there is already a 4m deep extension allowed, although the permitted development extension was set back 2.15m on its side elevation from the shared boundary. The key issue for consideration is the additional impact arising from the difference between the permitted development and the proposals in this full planning application. The 4m deep extension is HDAS compliant on this side of the detached property. Furthermore, it is not considered that the additional development proposed closer to 2 Harold Avenue (2.15m closer than the permitted development scheme) would cause such additional harm to the residential amenity of the occupants of 2 Harold Avenue as to warrant refusal.

The proposed development would erect two windows in the northern side elevation facing 2 Harold Avenue. These windows would face the blank side elevation of this neighbouring dwelling causing no loss of privacy. The proposed development would, therefore, be considered to comply with Policy BE24 of the adopted UDP (Saved Policies September 2007).

IMPACT ON STREET SCENE

The only part of the proposed development which would be visible from the public domain would be the 1.25 metre wide side extension. The angle of the hip in the roof of the side extension would match the angle of the hipped main roof. This would minimise the visual impact of the small side extension which would not be contrary to the HDAS Residential Extensions as it would not be more than half the width of the original house. As the side extension has already been largely permitted under the certificate of lawful development, its impact on the visual amenities of the area would acceptable under Policy BE13 of the adopted UDP (Saved Policies September 2007).

OTHER MATERIAL CONSIDERATIONS

It has been considered, that all the proposed habitable rooms, and those altered by the development still maintain an adequate outlook and source of natural light, therefore complying with Policies BE20 of the UDP (Saved Policies September 2007) and 3.5 the London Plan (2011).

The site currently has adequate off street parking within the curtilage of the premises. Therefore, the proposal would comply with policy AM14 of the UDP (Saved Policies, September 2007).

A garden of more than 100 sq m would be retained and, therefore, the proposed development would comply with BE23 of the UDP (Saved Policies September 2007).

The proposal is recommended for Approval.

6. RECOMMENDATION

APPROVAL subject to the following:

1 HH-T8 Time Limit - full planning application 3 years

The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

REASON

To comply with Section 91 of the Town and Country Planning Act 1990.

2 HH-OM1 Development in accordance with Approved Plans

The development shall not be carried out otherwise than in strict accordance with the plans hereby approved unless consent to any variation is first obtained in writing from the Local Planning Authority.

REASON

To ensure that the external appearance of the development is satisfactory and complies with Policy BE13 and BE15 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

3 HH-M2 External surfaces to match existing building

The materials to be used in the construction of the external surfaces of the development hereby permitted shall match those used in the existing building.

REASON

To safeguard the visual amenities of the area and to ensure that the proposed development does not have an adverse effect upon the appearance of the existing building in accordance with Policy BE15 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

4 HH-MRD4 Single Dwellings Occupation

The development hereby approved shall not be sub-divided to form additional dwelling units or used in multiple occupation without a further express permission from the Local Planning Authority.

REASON

To ensure that the premises remain as a single dwelling until such time as the Local Planning Authority may be satisfied that conversion would be in accordance with Policy H7 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

5 HH-RPD4 Prevention of Balconies / Roof Gardens

The roof area of the extension hereby permitted shall not be used as a balcony, roof garden or similar amenity area.

REASON

To prevent overlooking to adjoining properties in accordance with policy BE24 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

INFORMATIVES

1 The decision to GRANT planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council

policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

2 The decision to GRANT planning permission has been taken having regard to the policies and proposals in the Hillingdon Unitary Development Plan Saved Policies (September 2007) set out below, including Supplementary Planning Guidance, and to all relevant material considerations, including the London Plan (July 2011) and national guidance.

AM14 New development and car parking standards.

BE13 New development must harmonise with the existing street scene.

BE15 Alterations and extensions to existing buildings

BE19 New development must improve or complement the character of the area.

BE20 Daylight and sunlight considerations.

BE21 Siting, bulk and proximity of new buildings/extensions.

BE23 Requires the provision of adequate amenity space.

BE24 Requires new development to ensure adequate levels of privacy to neighbours.

BE38 Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.

LPP 3.5 (2011) Quality and design of housing developments

HDAS-E Residential Extensions, Hillingdon Design & Access Statement, Supplementary Planning Document, adopted December 2008

3 You are advised this permission is based on the dimensions provided on the approved drawings as numbered above. The development hereby approved must be constructed precisely in accordance with the approved drawings. Any deviation from these drawings requires the written consent of the Local Planning Authority.

4 You are advised that if any part of the development hereby permitted encroaches by either its roof, walls, eaves, gutters, or foundations, then a new planning application will have to be submitted. This planning permission is not valid for a development that results in any form of encroachment.

5 Your attention is drawn to the need to comply with the relevant provisions of the Building Regulations, the Building Acts and other related legislation. These cover such works as - the demolition of existing buildings, the erection of a new building or structure, the extension or alteration to a building, change of use of buildings, installation of services, underpinning works, and fire safety/means of escape works. Notice of intention to demolish existing buildings must be given to the Council's Building Control Service at least 6 weeks before work starts. A completed application form together with detailed plans must be submitted for approval before any building work is commenced. For further information and advice, contact - Planning & Community Services, Building Control, 3N/01 Civic Centre, Uxbridge (Telephone 01895 250804 / 805 / 808).

6 You have been granted planning permission to build a residential extension.

When undertaking demolition and/or building work, please be considerate to your neighbours and do not undertake work in the early morning or late at night or at any time on Sundays or Bank Holidays. Furthermore, please ensure that all vehicles associated with the construction of the development hereby approved are properly washed and cleaned to prevent the passage of mud and dirt onto the adjoining highway. You are advised that the Council does have formal powers to control noise and nuisance under The Control of Pollution Act 1974, the Clean Air Acts and other relevant legislation. For further information and advice, please contact - Environmental Protection Unit, 4W/04, Civic Centre, High Street, Uxbridge, UB8 1UW (Tel. 01895 250190).

- 7 The Party Wall Act 1996 requires a building owner to notify, and obtain formal agreement from, any adjoining owner, where the building owner proposes to:
carry out work to an existing party wall;
build on the boundary with a neighbouring property;
in some circumstances, carry out groundworks within 6 metres of an adjoining building.
Notification and agreements under this Act are the responsibility of the building owner and are quite separate from Building Regulations, or Planning Controls. The Building Control Service will assume that an applicant has obtained any necessary agreements with the adjoining owner, and nothing said or implied by the Council should be taken as removing the necessity for the building owner to comply fully with the Party Wall Act. Further information and advice is to be found in "the Party Walls etc. Act 1996 - explanatory booklet" published by the ODPM, available free of charge from the Planning & Community Services Reception Desk, Level 3, Civic Centre, Uxbridge, UB8 1UW.
- 8 Pursuant to the Control of Pollution Act 1974, the Clean Air Act 1993, the Environmental Protection Act 1990 and any other relevant legislation, you are advised as follows: The applicant should ensure that the following are complied with as part of their environmental management strategy:
 - (i) To assist in good management of noise from demolition and construction works at the site, the contractor involved is advised to consider applying to the London Borough of Hillingdon for prior consent under section 61 of the Control of Pollution Act 1974. The application should specify the method of working, the hours of work and noise controls to be applied in accordance with best practicable means as defined in section 72 of the Control of Pollution Act 1974;
 - (ii) Demolition and construction works should only be carried out between the hours of 0800 and 1800 on Monday to Friday and between the hours of 0800 and 1300 on Saturday. No works should be carried out on Sundays and Bank Holidays. All noise generated during such works should be controlled in compliance with British Standard 5228;
 - (iii) Measures should be taken to eliminate the release of dust and odours caused by the works that may create a public health nuisance; and
 - (iv) No bonfires on the site should be allowed to take place at any time.

Standard Informatives

- 1 The decision to GRANT planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).
- 2 The decision to GRANT planning permission has been taken having regard to the policies and proposals in the Hillingdon Unitary Development Plan Saved Policies (September 2007) set out below, and to all relevant material considerations, including Supplementary Planning Guidance:

Policy No.

AM14	New development and car parking standards.
BE13	New development must harmonise with the existing street scene.
BE15	Alterations and extensions to existing buildings
BE19	New development must improve or complement the character of the area.
BE20	Daylight and sunlight considerations.
BE21	Siting, bulk and proximity of new buildings/extensions.
BE23	Requires the provision of adequate amenity space.
BE24	Requires new development to ensure adequate levels of privacy to neighbours.
BE38	Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.
LPP 3.5	(2011) Quality and design of housing developments
HDAS-EXT	Residential Extensions, Hillingdon Design & Access Statement, Supplementary Planning Document, adopted December 2008

- 3 You are advised this permission is based on the dimensions provided on the approved drawings as numbered above. The development hereby approved must be constructed precisely in accordance with the approved drawings. Any deviation from these drawings requires the written consent of the Local Planning Authority.
- 4 You are advised that if any part of the development hereby permitted encroaches by either its roof, walls, eaves, gutters, or foundations, then a new planning application will have to be submitted. This planning permission is not valid for a development that results in any form of encroachment.
- 5 Your attention is drawn to the need to comply with the relevant provisions of the Building Regulations, the Building Acts and other related legislation. These cover such works as - the demolition of existing buildings, the erection of a new building or structure, the extension or alteration to a building, change of use of buildings,

installation of services, underpinning works, and fire safety/means of escape works. Notice of intention to demolish existing buildings must be given to the Council's Building Control Service at least 6 weeks before work starts. A completed application form together with detailed plans must be submitted for approval before any building work is commenced. For further information and advice, contact - Planning, Environment and Community Services, Building Control, 3N/01 Civic Centre, Uxbridge (Telephone 01895 250804 / 805 / 808).

- 6 You have been granted planning permission to build a residential extension. When undertaking demolition and/or building work, please be considerate to your neighbours and do not undertake work in the early morning or late at night or at any time on Sundays or Bank Holidays. Furthermore, please ensure that all vehicles associated with the construction of the development hereby approved are properly washed and cleaned to prevent the passage of mud and dirt onto the adjoining highway. You are advised that the Council does have formal powers to control noise and nuisance under The Control of Pollution Act 1974, the Clean Air Acts and other relevant legislation. For further information and advice, please contact - Environmental Protection Unit, 4W/04, Civic Centre, High Street, Uxbridge, UB8 1UW (Tel. 01895 250190).
- 7 The Party Wall Act 1996 requires a building owner to notify, and obtain formal agreement from, any adjoining owner, where the building owner proposes to:
 - carry out work to an existing party wall;
 - build on the boundary with a neighbouring property;
 - in some circumstances, carry out groundworks within 6 metres of an adjoining building.Notification and agreements under this Act are the responsibility of the building owner and are quite separate from Building Regulations, or Planning Controls. The Building Control Service will assume that an applicant has obtained any necessary agreements with the adjoining owner, and nothing said or implied by the Council should be taken as removing the necessity for the building owner to comply fully with the Party Wall Act. Further information and advice is to be found in "the Party Walls etc. Act 1996 - explanatory booklet" published by the ODPM, available free of charge from the Planning, Environment and Community Services Reception, Civic Centre, Uxbridge, UB8 1UW.
- 8 Your attention is drawn to the fact that the planning permission does not override property rights and any ancient rights of light that may exist. This permission does not empower you to enter onto land not in your ownership without the specific consent of the owner. If you require further information or advice, you should consult a solicitor.
- 9 Nuisance from demolition and construction works is subject to control under The Control of Pollution Act 1974, the Clean Air Acts and other related legislation. In particular, you should ensure that the following are complied with: -
 - A) Demolition and construction works should only be carried out between the hours of 08.00 hours and 18.00 hours Monday to Friday and between the hours of 08.00 hours and 13.00 hours on Saturday. No works shall be carried out on Sundays Bank and Public Holidays.

B) All noise generated during such works should be controlled in compliance with British Standard Code of Practice BS 5228: 1984.

C) The elimination of the release of dust or odours that could create a public health nuisance.

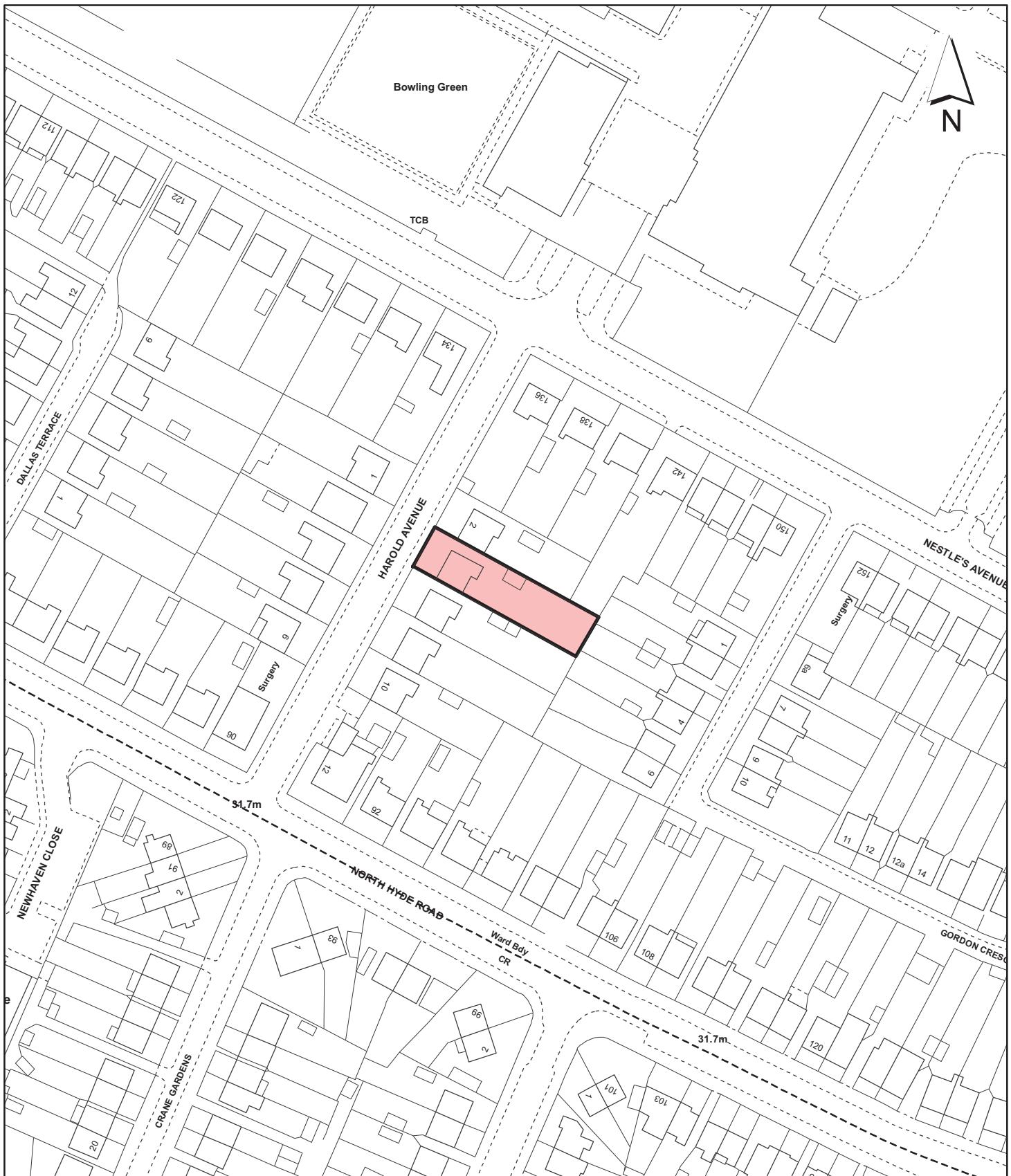
D) No bonfires that create dark smoke or nuisance to local residents.

You are advised to consult the Council's Environmental Protection Unit, 3S/02, Civic Centre, High Street, Uxbridge, UB8 1UW (Tel.01895 277401) or to seek prior approval under Section 61 of the Control of Pollution Act if you anticipate any difficulty in carrying out construction other than within the normal working hours set out in (A) above, and by means that would minimise disturbance to adjoining premises.

- 10 You are advised that care should be taken during the building works hereby approved to avoid spillage of mud, soil or related building materials onto the pavement or public highway. You are further advised that failure to take appropriate steps to avoid spillage or adequately clear it away could result in action being taken under the Highways Act.
- 11 To promote the development of sustainable building design and construction methods, you are encouraged to investigate the use of renewable energy resources which do not produce any extra carbon dioxide (CO2) emissions, including solar, geothermal and fuel cell systems, and use of high quality insulation.
- 12 You are advised that care should be taken during the building works hereby approved to ensure no damage occurs to the verge or footpaths during construction. Vehicles delivering materials to this development shall not override or cause damage to the public footway. Any damage will require to be made good to the satisfaction of the Council and at the applicant's expense. For further information and advice contact - Highways Maintenance Operations, Central Depot - Block K, Harlington Road Depot, 128 Harlington Road, Hillingdon, Middlesex, UB3 3EU (Tel: 01895 277524).

Contact Officer: Alex Smith

Telephone No: 01895 250230



Notes

 Site boundary

For identification purposes only.

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Site Address

**4 Harold Avenue
Hayes**

**LONDON BOROUGH
OF HILLINGDON**
Planning,
Environment, Education
& Community Services
Civic Centre, Uxbridge, Middx. UB8 1UW
Telephone No.: Uxbridge 250111

Planning Application Ref:

67940/APP/2011/1780

Scale

1:1,250

Planning Committee

Central and South

Date

**August
2011**



HILLINGDON
LONDON

Agenda Item 9

Report of the Head of Planning & Enforcement Services

Address: ST GEORGES MEADOW MILL ROAD WEST DRAYTON

Development: Installation of a 1.85m high mesh boundary fence with associated soft landscaping.

LBH Ref Nos: 33658/APP/2010/2653

Drawing Nos:

- Supporting Statement
- Manufacturing details
- 1:1250 Site Plan showing location of fence line
- J6/01059
- Arboorticulural Report
- 24/11(Tree Protection Plan)

Date Plans Received: 18/11/2010 **Date(s) of Amendment(s):** 18/11/2010
Date Application Valid: 29/11/2010 03/05/2011

1. SUMMARY

Planning permission is sought to erect a 1.85m high mesh fence to the Wise Lane boundary. It is considered that the type of fencing proposed would not result in an intrusive form of development or have a detrimental impact which would detract from the visual amenities of the Wise Lane street scene and the Green Belt and would fail to preserve or enhance the character and appearance of West Drayton Green Conservation Area and the setting of a Grade II Listed Building.

2. RECOMMENDATION

APPROVAL subject to the following:

1 T8 Time Limit - full planning application 3 years

The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

REASON

To comply with Section 91 of the Town and Country Planning Act 1990.

2 TL2 Trees to be retained

Trees, hedges and shrubs shown to be retained on the approved plan shall not be damaged, uprooted, felled, lopped or topped without the prior written consent of the Local Planning Authority.

If any retained tree, hedge or shrub is removed or severely damaged during construction, or is found to be seriously diseased or dying another tree, hedge or shrub shall be planted at the same place or, if planting in the same place would leave the new tree, hedge or shrub susceptible to disease, then the planting should be in a position to be first agreed in writing with the Local Planning Authority and shall be of a size and species to be agreed in writing by the Local Planning Authority and shall be planted in the first planting season following the completion of the development or the occupation of the buildings, whichever is the earlier. Where damage is less severe, a schedule of remedial

works necessary to ameliorate the effect of damage by tree surgery, feeding or groundwork shall be agreed in writing with the Local Planning Authority. New planting should comply with

BS 3936 (1992) 'Nursery Stock, Part 1, Specification for Trees and Shrubs'. Remedial work should be carried out to BS 3998 (1989) 'Recommendations for Tree Work' and BS 4428 (1989) 'Code of Practice for General Landscape Operations (Excluding Hard Surfaces)'. The agreed work shall be completed in the first planting season following the completion of the development or the occupation of the buildings, whichever is the earlier.

REASON

To ensure that the trees and other vegetation continue to make a valuable contribution to the amenity of the area in accordance with policy BE38 of the Hillingdon Unitary Development Plan Saved Policies (September 2007) and to comply with Section 197 of the Town and Country Planning Act 1990.

3 TL3 Protection of trees during site clearance and development

No site clearance works or development shall be commenced until fencing has been erected in accordance with the details approved. Unless otherwise agreed in writing by the Local Planning Authority such fencing should be a minimum height of 1.5 metres. The fencing shall be retained in position until development is completed. The area within the approved protective fencing shall remain undisturbed during the course of the works and in particular in these areas:

1. There shall be no changes in ground levels;
2. No materials or plant shall be stored;
3. No buildings or temporary buildings shall be erected or stationed.
4. No materials or waste shall be burnt; and.
5. No drain runs or other trenches shall be dug or otherwise created, without the prior written consent of the Local Planning Authority.

REASON

To ensure that trees and other vegetation to be retained are not damaged during construction work and to ensure that the development conforms with policy BE38 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

4 TL5 Landscaping Scheme - (full apps where details are reserved)

No development shall take place until detail of the proposed soft landscaping scheme showing the position and species of the hedges has been submitted to and approved in writing by the Local Planning Authority and these works shall be carried out as approved.

The scheme shall include: -

- Planting plans (at not less than a scale of 1:100),
- Written specification of planting and cultivation works to be undertaken,
- Schedule of plants giving species, plant sizes, and proposed numbers/densities where appropriate,
- Implementation programme.

REASON

To ensure that the proposed development will preserve and enhance the visual amenities of the locality in compliance with policy BE38 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

5 TL6 Landscaping Scheme - implementation

All soft landscaping shall be carried out in accordance with the approved landscaping

scheme and shall be completed within the first planting and seeding seasons following the completion of the development or the occupation of the buildings, whichever is the earlier period. The new planting and landscape operations should comply with the requirements specified in BS 3936 (1992) 'Nursery Stock, Part 1, Specification for Trees and Shrubs' and in BS 4428 (1989) 'Code of Practice for General Landscape Operations (Excluding Hard Surfaces)'. Thereafter, the areas of hard and soft landscaping shall be permanently retained.

Any tree, shrub or area of turfing or seeding shown on the approved landscaping scheme which within a period of 5 years from the completion of development dies, is removed or in the opinion of the Local Planning Authority becomes seriously damaged or diseased shall be replaced in the same place or, if planting in the same place would leave the new tree, hedge or shrub susceptible to disease, then the planting should be in a position to be first agreed in writing with the Local Planning Authority in the next planting season with another such tree, shrub or area of turfing or seeding of similar size and species unless the Local Planning Authority first gives written consent to any variation.

REASON

To ensure that the landscaped areas are laid out and retained in accordance with the approved plans in order to preserve and enhance the visual amenities of the locality in compliance with policy BE38 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

6 NONSC Non Standard Condition

Development shall not commence until details of spaces beneath the fencing hereby approved to enable wild species to pass under the fence (including hedgehogs), have been submitted to and approved in writing by the Local Planning Authority. The fence shall thereafter be constructed in accordance with the approved details.

REASON:

To permit the cross migration of wild species, in accordance with policy EC3 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

INFORMATIVES

1 152 Compulsory Informative (1)

The decision to GRANT planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

2 |53 Compulsory Informative (2)

The decision to GRANT planning permission has been taken having regard to the policies and proposals in the Hillingdon Unitary Development Plan Saved Policies (September 2007) set out below, including Supplementary Planning Guidance, and to all relevant material considerations, including the London Plan (July 2011) and national guidance.

BE4 New development within or on the fringes of conservation areas

BE10	Proposals detrimental to the setting of a listed building
BE13	New development must harmonise with the existing street scene.
BE19	New development must improve or complement the character of the area.
BE38	Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.
OL1	Green Belt - acceptable open land uses and restrictions on new development

3 I2 Encroachment

You are advised that if any part of the development hereby permitted encroaches by either its roof, walls, eaves, gutters, or foundations, then a new planning application will have to be submitted. This planning permission is not valid for a development that results in any form of encroachment.

4 I3 Building Regulations - Demolition and Building Works

Your attention is drawn to the need to comply with the relevant provisions of the Building Regulations, the Building Acts and other related legislation. These cover such works as - the demolition of existing buildings, the erection of a new building or structure, the extension or alteration to a building, change of use of buildings, installation of services, underpinning works, and fire safety/means of escape works. Notice of intention to demolish existing buildings must be given to the Council's Building Control Service at least 6 weeks before work starts. A completed application form together with detailed plans must be submitted for approval before any building work is commenced. For further information and advice, contact - Planning & Community Services, Building Control, 3N/01 Civic Centre, Uxbridge (Telephone 01895 250804 / 805 / 808).

5 I43 Keeping Highways and Pavements free from mud etc

You are advised that care should be taken during the building works hereby approved to avoid spillage of mud, soil or related building materials onto the pavement or public highway. You are further advised that failure to take appropriate steps to avoid spillage or adequately clear it away could result in action being taken under the Highways Act 1980.

6 I51 Notification of Commencement of Works

Written notification of the intended start of works shall be sent to Planning & Community Services, London Borough of Hillingdon, Civic Centre, High Street, Uxbridge, UB8 1UW at least seven days before the works hereby approved are commenced.

7 I15 Control of Environmental Nuisance from Construction Work

Nuisance from demolition and construction works is subject to control under The Control of Pollution Act 1974, the Clean Air Acts and other related legislation. In particular, you should ensure that the following are complied with: -

- A) Demolition and construction works should only be carried out between the hours of 08.00 hours and 18.00 hours Monday to Friday and between the hours of 08.00 hours and 13.00 hours on Saturday. No works shall be carried out on Sundays, Bank and Public Holidays.
- B) All noise generated during such works should be controlled in compliance with British Standard Code of Practice BS 5228: 1984.
- C) The elimination of the release of dust or odours that could create a public health

nuisance.

D) No bonfires that create dark smoke or nuisance to local residents.

You are advised to consult the Council's Environmental Protection Unit, 3S/02, Civic Centre, High Street, Uxbridge, UB8 1UW (Tel.01895 277401) or to seek prior approval under Section 61 of the Control of Pollution Act if you anticipate any difficulty in carrying out construction other than within the normal working hours set out in (A) above, and by means that would minimise disturbance to adjoining premises.

3. CONSIDERATIONS

3.1 Site and Locality

This application concerns St. Georges Meadow, a four bedroom timber framed house, which is situated in open meadow grounds given to the National Trust in 1960. The land is held by the National Trust, but is not open to the general public.

The house is a Grade II Listed Building and is situated within West Drayton Green Conservation area and the Green Belt.

3.2 Proposed Scheme

The previously refused scheme proposed a 1.8m high palisade fence along the Wise Lane boundary. It was considered that the type of palisade fencing proposed and bright green colour would result in an intrusive form of development which would detract from the visual amenities of the Wise Lane street scene and the Green Belt and would fail to preserve or enhance the character and appearance of West Drayton Green Conservation Area and the setting of a Grade II Listed Building.

This application attempts to overcome the reason for refusal of the previous scheme by proposing a 1.85m high wire mesh fencing painted dark green in colour. The proposed fence would be located at the back edge of the pavement so as to maintain the existing hedge and tree line and would abut the existing fencing. Indigenous hedges are proposed where gaps exist in the centre section of the Wise Lane frontage.

3.3 Relevant Planning History

33658/APP/2009/668 St Georges Meadow Mill Road West Drayton

Installation of 1.8 metre fencing to Wise Lane boundary.

Decision: 28-05-2009 Refused

Comment on Relevant Planning History

The above application was refused for the following reason:

The proposed fence by reason of its design and colour would result in an intrusive form of development which would detract from the visual amenities of the Wise Lane street scene and the Green Belt and fails to preserve or enhance the character and appearance of

West Drayton Green Conservation Area and the setting of a Grade II Listed Building. The proposal is therefore considered to be contrary to Policies BE4, BE10, BE13 and BE19 of the Hillingdon Unitary Development Plan Saved Policies September 2007 and paragraph 3.15 of Planning Policy Guidance Note 2 'Green Belts'.

4. Planning Policies and Standards

PPG 2 Green Belts

Adopted Hillingdon Unitary Development Plan (Saved Policies September 2007).

UDP / LDF Designation and London Plan

The following UDP Policies are considered relevant to the application:-

Part 1 Policies:

- PT1.1 To maintain the Green Belt for uses which preserve or enhance the open nature of the area.
- PT1.10 To seek to ensure that development does not adversely affect the amenity and the character of the area.

Part 2 Policies:

- BE4 New development within or on the fringes of conservation areas
- BE10 Proposals detrimental to the setting of a listed building
- BE13 New development must harmonise with the existing street scene.
- BE19 New development must improve or complement the character of the area.
- BE38 Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.
- OL1 Green Belt - acceptable open land uses and restrictions on new development

5. Advertisement and Site Notice

5.1 Advertisement Expiry Date:- 12th January 2011

5.2 Site Notice Expiry Date:- Not applicable

6. Consultations

External Consultees

13 adjoining owner/occupiers and the Wise Lane and Ickenham Residents' Associations have been consulted. The application has also been advertised as a development that affects the character and appearance of the West Drayton Green Conservation Area and the setting of a Grade II listed building known as St Georges Meadow. No comments have been received.

West Drayton & District Local History Society:

'The above planning application refers to St. Georges Meadow, West Drayton. Representing the West & District Local History Society, I wish to make the following comments:-

Central & South Planning Committee - 6th September 2011
PART 1 - MEMBERS, PUBLIC & PRESS

The proposal is to erect an 8ft wire panel fence along part of the existing boundary. We are surprised the site plan does not show the fence extending along the entire frontage in Wise Lane. The application mentions defensive planting behind the fence. Are there details of this planting?

West Drayton Green Conservation Panel:

'I am writing on behalf of the West Drayton Conservation Area Advisory Panel. The application does not say why the owners wish to erect such a very substantial fence along their boundary so we have some concern about why they consider it to be necessary; perhaps they have something they wish to hide? We could understand a desire to stop public access to the property if this was causing a nuisance but, were this the case, we do not believe the present application would achieve this because:

1 The proposed fence, as shown on the plans submitted, does not continue for the whole length of the Wise Lane frontage so it would be easy for people to walk round the north-western end of the proposed fence.

2 The eastern boundary of the property is not well fenced, so access across it will continue to be relatively easy.

We do not consider the proposed fence is in keeping with the area as its height and formal appearance would be intrusive and detract from the present semi-rural look of Wise Lane and the West Drayton Green Conservation Area, as was noted in the reasons for refusing a similar application in 2009. We assume that the proposal is to place the fence along the edge of the pavement, in front of the existing wild hedge with its mature trees. We are therefore concerned with the statement in the supporting document that the owners intend to plant defensive planting and/or an indigenous screen planting behind [the fence]. To us this suggests that the existing hedge and the trees in it would be removed despite the assurance in section 16 of the application that existing trees and hedges on the property would not be affected. This would be severely detrimental to the existing street scene.

Officer comments: Details of new planting in the form of hedges between the gaps will be secured by condition. The remaining points are addressed in the report. The fence was reduced in height from 2.4m to 1.8m in height.

Internal Consultees

Urban Design/Conservation:

The site falls within the West Drayton Green Conservation Area and includes a number of listed buildings. At present the boundary of the site along Wise Lane is enclosed by a low timber fence, which is in poor condition. The applicants have expressed concerns re the security of the site with a number of break-ins being reported to the Police. There is no objection in principle to the new fence, which is of simple mesh like construction and to be painted dark green, provided the works include planting to soften its appearance. However, at 2.3-2.4m the proposed fence seems rather high given the lane like character of its location. It was assumed following pre application discussion that the fence would be the same height as that previously applied for i.e. approx 1.8m. The posts should also include a capping to cover the hollow section.

The advice of Ian Tynne should be sought on the impact of the fence on wildlife, as this was one of the concerns of local residents and a ward councillor during the preapplication site visit.

CONCLUSION: No objection in principle, but the height should be lowered to 2m max and if agreed, conditions applied with regards to:

- Additional planting to soften the appearance of the fence
- Capping to finish posts
- Details of the colour and finish to be submitted

Officer comments: The fence has been reduced in height to 1.85m and the applicant has confirmed that there is no capping associated with the finish posts.

Trees/Landscape:

BACKGROUND:

The site comprises part of the Wise Lane boundary to the St George's Meadows, a National Trust property off Mill Road. The boundary is currently insecure and defined by scrub and hedgerow with occasional specimen trees, one of which is hard against the back edge of the Wise Lane footway. There are no Tree Preservation Orders on, or close to, the site. However, it lies within a Conservation Area, a designation which protects trees.

LANDSCAPE CONSIDERATIONS:

Saved policy BE38 seeks the retention and utilisation of topographical and landscape features of merit and the provision of new planting and landscaping wherever it is appropriate. Saved policy OL26 seeks to protect and preserve trees and woodlands and encourage their preservation.

- In this case, there is no intention to remove trees or vegetation. Some minor trimming back of lateral growth may be required to accommodate the proposed fence line along the back edge of the kerb. This is acceptable.
- Of greater concern is the presence of at least one substantial tree, which is hard on the boundary. The fence line will have to be stepped back to create a bay for the tree, which avoids damaging the tree trunk or roots. This tree (and any others like it) need to be identified and details specified.
- The colour of the fence should be specified (including relevant BS /RAL reference) and a sample supplied.
- The height of the fence should be amended to 1.8, or 2 metres, which should be adequate to protect the site.

RECOMMENDATIONS:

No objection, in principle, subject to the amendments /details specified above.

Additional Comments:

I confirm that the survey information and method statement is acceptable and should secure the retention of existing trees and other shrubby vegetation which are worthy of retention. The integrity of the planting along this boundary will be protected during, and after, the installation of the fencing.

I note the recommendation to fell the Poplar (T5) and confirm that no separate Conservation Area notification is required in this case. (A copy of the plan and report / specification will be placed on the planning file and the Conservation Area file.)

7. MAIN PLANNING ISSUES

7.01 The principle of the development

The site is located within the Green Belt, and as such the principle of development is assessed in section 7.05.

7.02 Density of the proposed development

Not applicable.

7.03 Impact on archaeology/CAs/LBs or Areas of Special Character

The site is located within a Conservation Area and within the setting of a Listed Building. The impact of the development on the Conservation Area and within the setting of a Listed Building is assessed in conjunction with the impact on the Green Belt in Section 7.05.

7.04 Airport safeguarding

Not applicable.

7.05 Impact on the green belt

Policy OL1 of the Council's UDP states that the following uses/development are acceptable in the Green Belt: agriculture, horticulture, forestry and nature conservation, open-air recreational facilities and cemeteries. PPG2 advises that 'inappropriate development' is, by definition, harmful to Green Belt policy and, therefore, it is clear that strong arguments may need to be advanced, in terms of the 'very special circumstances', why the presumption against inappropriate development should be overridden. The proposal is by definition 'inappropriate development'.

In the supporting documentation, the applicant states that the fence is required for reasons of security and would enclose an open meadow area which surrounds the Grade II Listed Building. It is considered that the siting, height (1.85m) and design of the proposed fence would not unacceptably increase the built-up appearance of the site and design of the proposed fence would not unacceptably obstruct views into and out of the site. The proposal would not therefore detract from the open character and appearance of the site and would not result in an intensification of an existing use. As such, it is considered that the proposed fence would not prejudice the purposes of including land in Green Belts and 'special circumstances' have therefore been demonstrated.

The western boundary of the site which fronts onto Wise Lane has an informal rural setting and the Council's Urban Design Conservation Officer considers that the type of fencing now proposed and its dark green colour would not result in an intrusive form of development but would now harmonise with this attractive rural setting. The simple mesh like construction, design and colour of the proposed fencing is not considered to detract from the visual amenities of the Wise Lane street scene and the Green Belt and as such would preserve or enhance the character and appearance of West Drayton Green Conservation Area and the setting of a Grade II Listed Building.

The proposal is therefore considered to overcome the reason for refusal of the previous scheme and would now comply with policies BE4, BE10, BE13 and BE19 of the adopted Hillingdon Unitary Development Plan (Saved Policies September 2007) and Planning Policy Guidance Note 2 'Green Belts'.

7.07 Impact on the character & appearance of the area

The impact of the development on the character of the Green Belt and Conservation Area is assessed in Section 7.05.

7.08 Impact on neighbours

The siting and size of the proposed fence is not considered to be overdominant in relation to the adjoining residential property 'Treeside' and the properties located on the eastern side of Wise Lane. The proposal would therefore comply with Saved Policy BE21.

7.09 Living conditions for future occupiers

Not applicable.

7.10 Traffic impact, Car/cycle parking, pedestrian safety

Not applicable.

7.11 Urban design, access and security

Not applicable.

7.12 Disabled access

Not applicable.

7.13 Provision of affordable & special needs housing

Not applicable.

7.14 Trees, landscaping and Ecology

The proposal would retain the existing landscaping of merit and will introduce additional hedges in the gaps along the Wise Lane frontage; details of which are to be secured by way of a planning condition. A Poplar is proposed to be felled however this tree is not considered to be worth of retention. The proposal would therefore comply with policy BE38.

With regards to Biodiversity/Nature Conservation, the National Trust Nature Conservation standing advice is that the proposed mesh fence centre will permit the cross migration of toads, frogs, wood mice and bank voles as might commonly exist in the area. For appropriate hedgehog migration, a small extra excavation would be required under the bottom of the fence at an interval of every 5 metres. This can be secured by way of a planning condition (which is recommended should consent be granted).

Badgers and foxes would not be able to negotiate these small openings, however, there does not appear to be any badger activity. Furthermore, there are other exits along the existing fencing around the site for such animals to negotiate.

7.15 Sustainable waste management

Not applicable.

7.16 Renewable energy / Sustainability

Not applicable.

7.17 Flooding or Drainage Issues

Not applicable.

7.18 Noise or Air Quality Issues

Not applicable.

7.19 Comments on Public Consultations

Addressed in the body of the report.

7.20 Planning obligations

Not applicable.

7.21 Expediency of enforcement action

Not applicable.

7.22 Other Issues

None.

8. Observations of the Borough Solicitor

When making their decision, Members must have regard to all relevant planning legislation, regulations, guidance, circulars and Council policies. This will enable them to make an informed decision in respect of an application.

In addition Members should note that the Human Rights Act 1998 (HRA 1998) makes it unlawful for the Council to act incompatibly with Convention rights. Decisions by the Committee must take account of the HRA 1998. Therefore, Members need to be aware of the fact that the HRA 1998 makes the European Convention on Human Rights (the Convention) directly applicable to the actions of public bodies in England and Wales. The specific parts of the Convention relevant to planning matters are Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

Article 6 deals with procedural fairness. If normal committee procedures are followed, it is unlikely that this article will be breached.

Article 1 of the First Protocol and Article 8 are not absolute rights and infringements of these rights protected under these are allowed in certain defined circumstances, for example where required by law. However any infringement must be proportionate, which means it must achieve a fair balance between the public interest and the private interest infringed and must not go beyond what is needed to achieve its objective.

Article 14 states that the rights under the Convention shall be secured without discrimination on grounds of 'sex, race, colour, language, religion, political or other opinion, national or social origin, association with a national minority, property, birth or other status'.

9. Observations of the Director of Finance**10. CONCLUSION**

Planning permission is sought to erect a 1.8m high mesh fence to the Wise Lane boundary. It is considered that the type of fencing proposed would not result in an intrusive form of development or have a detrimental impact which would detract from the visual amenities of the Wise Lane street scene and the Green Belt and would fail to preserve or enhance the character and appearance of West Drayton Green Conservation Area and the setting of a Grade II Listed Building.

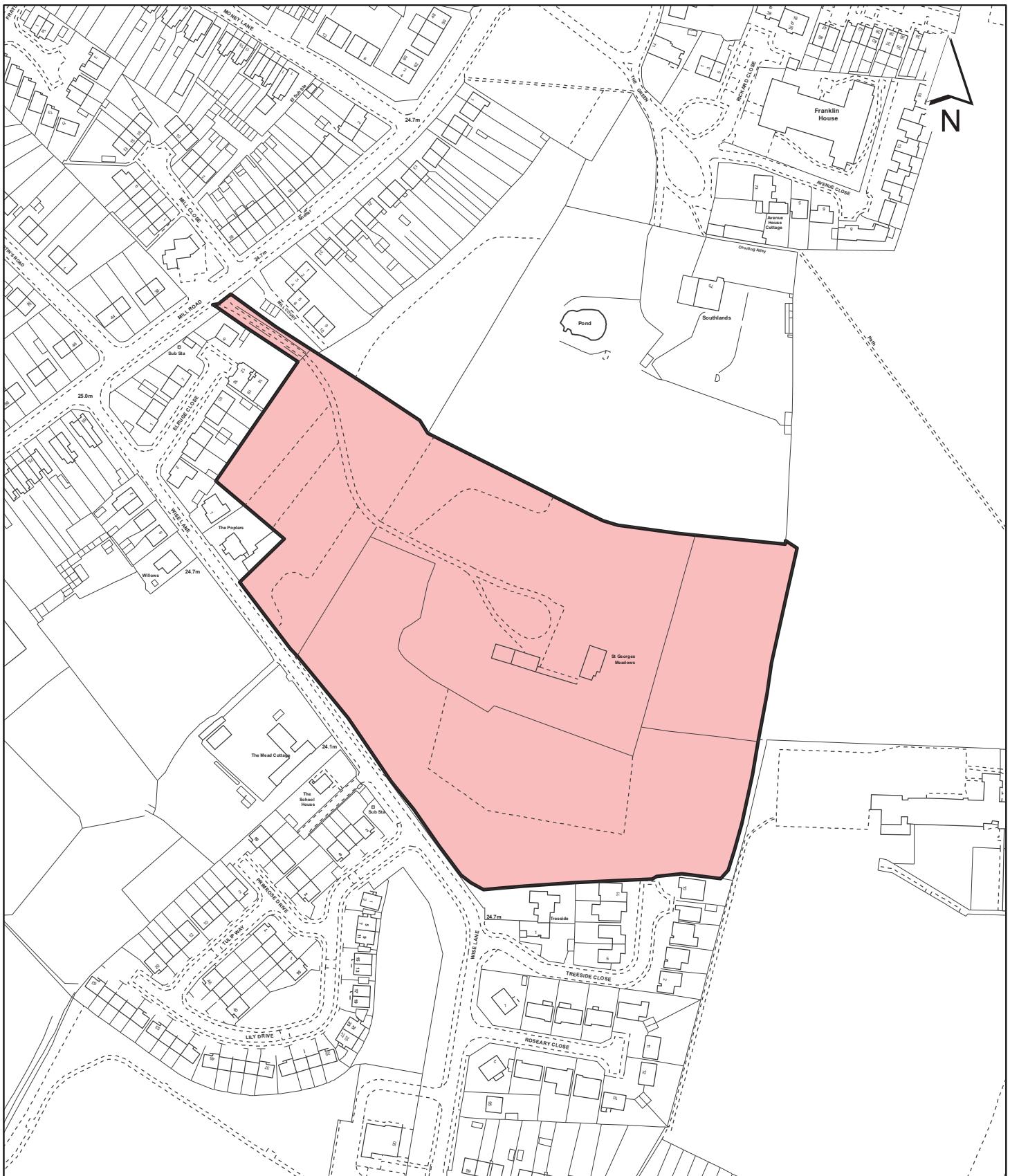
11. Reference Documents

PPG 2 Green Belts

Adopted Hillingdon Unitary Development Plan (Saved Policies September 2007).

Contact Officer: Sonia Bowen

Telephone No: 01895 250230



Notes

 Site boundary

For identification purposes only.

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Site Address

**St Georges Meadow
Mill Road
West Drayton**

**LONDON BOROUGH
OF HILLINGDON**
Planning,
Environment, Education
& Community Services
Civic Centre, Uxbridge, Middx. UB8 1UW
Telephone No.: Uxbridge 250111

Planning Application Ref:

33658/APP/2010/2653

Scale

1:2,500

Planning Committee

Central and South

Date

**August
2011**



HILLINGDON
LONDON

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Agenda Item 10

Report of the Head of Planning & Enforcement Services

Address: 62A BROOKSIDE ROAD HAYES

Development: Conversion of existing dwelling to 1 two-bedroom and 1 three-bedroom dwellings.

LBH Ref Nos: 22476/APP/2010/2879

Drawing Nos: 1:1250 Location Plan
MB/1872/1
Design & Access Statement

Date Plans Received: 13/12/2010 **Date(s) of Amendment(s):** 13/12/2010
Date Application Valid: 23/12/2010 23/12/2010

1. SUMMARY

Planning permission is sought for the retention of the conversion of the two storey side and part of the single storey rear extension as a two bedroom self-contained dwelling, with the main house and the remainder of the rear extension retained as a 3 bedroom dwellinghouse.

The proposal provides adequate amenities for its occupiers and would not result in an increase in noise and disturbance, harm the character and appearance of the street scene and surrounding area, or result in an increase in on-street demand for parking.

2. RECOMMENDATION

REFUSAL for the following reasons:

1 NON2 Non Standard reason for refusal

The development, by reason of its intensification of the use of the site through the creation of an additional residential unit and the associated additional car parking, garden subdivision, front garden refuse storage, and alterations to the appearance of the property, would result in a development of the site to the detriment of the character and visual amenities of the streetscene on what is a prominent corner site. Therefore the proposal is contrary to Policies BE13 and BE19 of the Hillingdon Unitary Development Plan (Saved Policies September 2007) and advice contained the HDAS Supplementary Planning Document: Residential Layouts.

INFORMATIVES

1 I52 Compulsory Informative (1)

The decision to REFUSE planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

2 I53 Compulsory Informative (2)

The decision to REFUSE planning permission has been taken having regard to the

policies and proposals in the Hillingdon Unitary Development Plan Saved Policies (September 2007) set out below, including Supplementary Planning Guidance, and to all relevant material considerations, including the London Plan (July 2011) and national guidance.

BE13	New development must harmonise with the existing street scene.
BE15	Alterations and extensions to existing buildings
BE19	New development must improve or complement the character of the area.
BE23	Requires the provision of adequate amenity space.
OE1	Protection of the character and amenities of surrounding properties and the local area
AM2	Development proposals - assessment of traffic generation, impact on congestion and public transport availability and capacity
AM7	Consideration of traffic generated by proposed developments.
AM9	Provision of cycle routes, consideration of cyclists' needs in design of highway improvement schemes, provision of cycle parking facilities
AM14	New development and car parking standards.
HDAS-LAY	Residential Layouts, Hillingdon Design & Access Statement, Supplementary Planning Document, adopted July 2006
LPP 7.1	(2011) Building London's neighbourhoods and communities
LPP 7.2	(2011) An inclusive environment
LPP 3.8	(2011) Housing Choice
LPP 6.13	(2011) Parking

3. CONSIDERATIONS

3.1 Site and Locality

The application site comprises a two storey semi-detached house with a two storey side and single storey rear extension located on the south east side of Brookside Road at its junction with Ashford Avenue. Garages lie at the bottom of the rear garden. The attached house, 64 Brookside Road lies to the north east and to the south west lies Ashford Avenue. The street scene is residential in character and appearance comprising a mix of two storey semi-detached houses and blocks of terraced houses, and the application site lies within the Developed Area as designated within the adopted Hillingdon Unitary Development Plan (Saved Policies September 2007).

3.2 Proposed Scheme

Planning permission is sought to retain the conversion of the two storey side extension and part of the single storey rear extension as a 2 bedroom self-contained flat. The original house and the remainder of the single storey rear extension are retained as a three bedroom dwellinghouse. External alterations comprise the installation of an entrance door along the flank wall of the two storey side extension, which has already been installed. Also, it is proposed to subdivide the front and rear external areas through the erection of boundary fencing. At front, two off-street parking spaces are retained for the original house and one off-street parking space is proposed for the new 2 bedroom unit. At rear separate private amenity spaces would be provided and the garages located at the rear would be retained for off-street parking and cycle storage.

Originally, planning permission was granted for the erection of a two-storey side and

single storey rear extension in June 2005 (22476/APP/2005/633). The approved two-storey extension is 4.1m wide and 6.2m deep, with a roof set 0.5m below the main ridgeline. The approved single storey rear extension is 3.4m wide and 3.4m deep. However, a mono-pitched roof (3.8m high) has been built as opposed to the approved flat roof with parapet wall (3.3m high). The extensions are complete.

3.3 Relevant Planning History

22476/APP/2005/2183 62 Brookside Road Hayes

CONVERSION OF TWO STOREY SIDE EXTENSION (APPROVED UNDER PLANNING PERMISSION REF: 22476/APP/2005/633 DATED 28 JUNE 2005) TO TWO-BEDROOM ATTACHED DWELLING HOUSE

Decision: 29-09-2005 Refused

Appeal: 31-01-2006 Dismissed

22476/APP/2006/2769 62 Brookside Road Hayes

INSTALLATION OF AN ENTRANCE DOOR AT GROUND-FLOOR LEVEL ON SIDE ELEVATION AND CONVERSION OF DWELLINGHOUSE INCLUDING TWO STOREY SIDE EXTENSION (APPROVED UNDER PLANNING PERMISSION REF: 22476/APP/2005/633 DATED 28/06/2005) TO 2, ONE-BEDROOM AND 1, THREE BEDROOM SELF-CONTAINED RESIDENTIAL FLATS INCLUDING INSTALLATION OF A VEHICULAR CROSSOVER

Decision: 18-01-2007 Refused

Appeal: 12-12-2007 Dismissed

22476/APP/2006/586 62 Brookside Road Hayes

Installation of an entrance door at ground-floor level on side elevation and conversion of dwellinghouse including two storey side extension (approved under planning permission ref:22476/APP/2005/633 dated 28/06/2005) to 2, one-bedroom and 1, three-bedroom self-contained residential flats including installation of a vehicular crossover

Decision: 24-04-2006 Refused

22476/APP/2008/1060 62 Brookside Road Hayes

CONVERSION OF DWELLINGHOUSE INCLUDING TWO STOREY SIDE EXTENSION (APPROVED UNDER PLANNING PERMISSION REF: 22476/APP/2005/633 DATED 28 JUNE 2005) TO 2, STUDIO AND 1, TWO-BEDROOM SELF-CONTAINED RESIDENTIAL FLATS (PART RETROSPECTIVE)

Decision: 19-06-2008 Refused

Comment on Relevant Planning History

In June 2005 planning permission was granted for the erection of a two-storey side and single storey rear extension (22476/APP/2005/633). The approved two-storey extension is 4.1m wide and 6.2m deep, with a roof set 0.5m below the main ridgeline. The approved single-storey rear extension is 3.4m wide and 3.4m deep. However, a mono-pitched roof (3.8m high) has been built as opposed to the approved flat roof with parapet wall (3.3m high).

In July 2005 planning application Ref: 22476/APP/2005/2183 was refused for the erection of a two-storey attached dwelling (the conversion of the approved single and part two-storey side extension to a new dwellinghouse). In January 2006 an Appeal lodged against

the decision of the Local Planning Authority and was dismissed.

In August 2006, complaints were received alleging the use of the two-storey side extension as a separate two (2)-bedroom unit (flat), together with the outbuilding having been equipped with both kitchen and bathroom facilities.

As a result of an investigation the breach(es) of planning control as described in paragraph 2.6 were remedied by means of both the removal of an outer side door and the creation of internal access from the side extension into the original dwellinghouse.

In April 2006, planning application Ref.: 22476/APP/2006/586 for the installation of an entrance door at ground-floor level on the side elevation and conversion of the dwellinghouse including the two-storey side extension (approved under planning permission ref.: 22476/APP/2005/633 dated 28/06/2005) to two (2), one-bedroom and one (1), three-bedroom self-contained residential units (flats), together with the installation of a vehicular crossover, was refused.

In January 2007, planning permission Ref.: 22476/APP/2006/2769 for: the installation of an entrance door at ground-floor level on side elevation and conversion of dwellinghouse including the two storey side extension (approved under planning permission ref: 22476/APP/2005/633 dated 28/06/2005) to two (2), one-bedroom and one (1), three bedroom self-contained residential units (flats), together with the installation of a vehicular crossover, was refused. An appeal was lodged and subsequently dismissed in December 2007. However, the Inspector only agreed with the Council on the 1st and 3rd reasons for refusal. The Inspector found the parking provision to be acceptable.

In June 2008, planning permission (ref.: 22476/APP/2008/1060) for the conversion of dwellinghouse including two storey side extension to 2, studio and 1, two-bedroom self-contained residential flats (part retrospective). This application was refused for the following reasons:

1. The proposal fails to provide acceptable amenity space in terms of layout. The garden layout as proposed would be out of keeping with the prevailing urban form of the area, and as such would be harmful to the character of the area and detrimental to the residential amenities of the adjoining occupant. The proposal is therefore contrary to Policies BE13, BE15, BE19, BE23 and OE1 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

2. The proposal results in additional parking in excess of this Council's maximum adopted parking standards. As such, the proposal represents an unsustainable form of development, which conflicts with one of the five guiding principles in the Hillingdon Unitary Development Plan Saved Policies (September 2007), i.e. to reduce travel demand. By encouraging the use of the private car the proposal would contribute to increased congestion and pollution to the detriment of the area in general being contrary to Policy AM14 the Hillingdon Unitary Development Plan 'Saved Policies' September 2007.

However, in August 2008 further site visits/inspections confirmed that the two-storey side and part single storey rear extension had been converted into two (2), two-bedroom self-contained residential units. In addition, outbuilding (located at the end of the rear garden) had been converted into two (2), studio units (flats).

Subsequently the Council resolved to issue an enforcement notice for the cessation of the

use for the reasons set out above. The Notice was issued on 19th March 2010. An appeal was lodged and subsequently dismissed in September 2010, although a further compliance period was given which has now lapsed.

In December 2010, the Council received this current application.

4. Planning Policies and Standards

As set out in the report.

UDP / LDF Designation and London Plan

The following UDP Policies are considered relevant to the application:-

Part 1 Policies:

PT1.10 To seek to ensure that development does not adversely affect the amenity and the character of the area.

Part 2 Policies:

BE13 New development must harmonise with the existing street scene.

BE15 Alterations and extensions to existing buildings

BE19 New development must improve or complement the character of the area.

BE23 Requires the provision of adequate amenity space.

OE1 Protection of the character and amenities of surrounding properties and the local area

AM2 Development proposals - assessment of traffic generation, impact on congestion and public transport availability and capacity

AM7 Consideration of traffic generated by proposed developments.

AM9 Provision of cycle routes, consideration of cyclists' needs in design of highway improvement schemes, provision of cycle parking facilities

AM14 New development and car parking standards.

HDAS-LAY Residential Layouts, Hillingdon Design & Access Statement, Supplementary Planning Document, adopted July 2006

LPP 7.1 (2011) Building London's neighbourhoods and communities

LPP 7.2 (2011) An inclusive environment

LPP 3.8 (2011) Housing Choice

LPP 6.13 (2011) Parking

5. Advertisement and Site Notice

5.1 Advertisement Expiry Date:- Not applicable

5.2 Site Notice Expiry Date:- Not applicable

6. Consultations

External Consultees

10 adjoining owner/occupiers have been consulted. 2 letters of objection have been received on the grounds that the development has an unacceptable impact on residential amenity, the appearance

of the area and on parking.

Internal Consultees

Highways:

This is an existing three bedroom semi detached dwelling situated in the corner of Ashfield road and Brookside Road. The property is located at the bottom end of Brookside Road is a no through road leading to a playing field and is unclassified road.

This dwelling currently benefits from two vehicular cross over both leading to its front garden (one from Brookside Road and one from Ashfield Road) with sufficient depth in its front cartilage to accommodate three vehicular parking spaces.

There is an existing brick built garage and drop kerb on the south east corner of the dwelling accessed from Ashfield road, and a second garage accessed from the service road behind dwellings. Each garage can easily accommodate one parking space for proposed dwellings, despite applicant's statement believing that there is sufficient space for four covered parking spaces.

Proposal is for conversion of existing dwelling to 1x two-bedroom and 1x three-bedroom dwellings with two parking spaces for each, and provision of two cycle storage inside the garage. This is achieved by utilising the two garages at the rear of property and three parking spaces in the front garden.

Policy AM14 of the UDP refers to the Council's vehicle parking standard contained in the Annex 1. The standard requires four vehicle parking spaces for similar property. The proposed area to the front garden of both properties has sufficient depth and therefore complies with Policy AM14 of the Council's UDP.

Consequently no objection is raised on the highways aspect of the proposals, subject to a condition being applied for the garages to be available for car parking at all times.

Waste Management:

No objections.

Trees/Landscape:

The site is a semi-detached house with a two-storey side large extension on the corner of Brookside Road and Ashford Avenue. The front garden currently accommodates two parked cars on a gravel drive in front of the original house, with a further off-street parking space across the front of the extension which is accessed from Ashford Avenue.

There are no significant landscape features on the site which constitute a constraint on development. There are no Tree Preservation Orders on, or close to, the site, nor does it fall within a designated Conservation Area.

The proposal is to convert the existing house into two separate dwellings. Saved policy BE38 seeks the retention and utilisation of topographical and landscape features of merit and the provision of new planting and landscaping wherever it is appropriate.

- No change to the landscape is proposed.
- HDAS (Residential extensions, chapter 11.2) recommends that, where parking space is increased in front gardens, at least 25% of front garden space is retained for soft landscaping. In this case the

parking arrangement already exists with some boundary hedging retained.

· DCLG / EA guidance requires new driveways to be designed and installed in accordance with SUDS principles. The existing gravel surfacing is permeable.

RECOMMENDATIONS:

No objection and no requirement for landscape conditions.

7. MAIN PLANNING ISSUES

7.01 The principle of the development

As the application site lies within a residential area, no objections are raised in principle to the proposal.

7.02 Density of the proposed development

The London Plan July 2011 suggests for a site in a Suburban area with a PTAL rating of 1, such as the subject site, that a density of 40-65 units per hectare (150-200 hr/ha) would be acceptable.

The density of the application would be 49 units per hectare (172 hr/ha).

As such it is considered that the proposed density broadly complies with the requirements of the London Plan.

7.03 Impact on archaeology/CAs/LBs or Areas of Special Character

The site is not located within a Conservation Area or any other designated special area.

7.04 Airport safeguarding

Not applicable to this application.

7.05 Impact on the green belt

The site is not located within the Green Belt.

7.07 Impact on the character & appearance of the area

There are concerns raised as to how this proposal would impact on the character and appearance of the area. The development would result in the intensification of the use of the site through the creation of an additional residential unit. This intensification, namely through the associated additional car parking, garden subdivision, front garden refuse storage, and alterations to the appearance of the property, would be considered to result in a development of the site to the detriment of the character and visual amenities of the streetscene and to this prominent corner site. Therefore the proposal is considered to be contrary to Policies BE13 and BE19 of the Hillingdon Unitary Development Plan (Saved Policies September 2007) and advice contained the HDAS Supplementary Planning Document: Residential Layouts.

7.08 Impact on neighbours

Given the nature of the proposal, the residential amenities of adjoining and nearby properties are not adversely affected.

Internally, the proposal does not generate a significant increase in noise and disturbance over and above that of the previous dwelling house. Furthermore, there are no residential properties to the south west of the two storey side extension. Therefore, the proposal complies with policy OE1 of the adopted Hillingdon Unitary Development Plan (Saved Policies September 2007).

7.09 Living conditions for future occupiers

The original dwellinghouse with a single storey rear extension is maintained, providing some 90sqm of internal floorspace for the 3 bedroom property. The two bedroom unit has an internal floorspace in excess of 63sq.m. The internal size of the dwellinghouse and 2 bedroom unit both exceed the requirements of paragraph 4.6 of the Hillingdon Design &

Accessibility Statement: Residential Layouts for 3 and 2 bedroom houses, which recommend 81sq.m and 63sqm, respectively.

With regards to private amenity space, the rear garden would be sub-divided to provide some 77sq.m of amenity space for the dwellinghouse and some 70sq.m for the two bedroom unit. Both would meet the requirements of paragraph 4.15 of the Hillingdon Design & Accessibility Statement: Residential Layouts and policy BE23 of the adopted Hillingdon Unitary Development Plan (Saved Policies September 2007).

Therefore, the proposal would comply with London Plan policy 3.8, 7.1 and 7.2 of the London Plan, and the Hillingdon Design and Accessibility Statement: Accessible Hillingdon.

7.10 Traffic impact, Car/cycle parking, pedestrian safety

The proposal does not lead to an increase in traffic generation given its use and location within a residential area. As such, the proposal complies with policy AM2 of the adopted Hillingdon Unitary Development Plan (Saved Policies September 2007).

The area has a PTAL accessibility rating of 1, which means within a scale of 1 to 6, where 6 is the most accessible, the area has a low accessibility level. Therefore, at least 2 parking spaces should be provided for each dwelling.

2 off-street parking spaces would be provided at front for the existing house and 1 space at front and 1 to the rear in the existing garage would be provided for the two bedroom unit, all of which would utilise the existing crossovers for access. Furthermore, cycle storage would be provided within the garage.

In his comments of the previously refused scheme (ref: 22476/APP/2006/2769), the Planning Inspector stated that he was satisfied that the proposal could provide a sufficient number of parking spaces with suitable means of access to ensure that highway and pedestrian safety would not be compromised. The Inspector also agreed that the access to the parking areas were adequate. The current scheme proposes a similar parking arrangement as the previously refused scheme.

It is therefore considered that the proposal would not result in an increase in on-street demand for parking, in accordance with policies AM2, AM7, AM9 and AM14 of the adopted Hillingdon Unitary Development Plan (Saved Policies September 2007).

7.11 Urban design, access and security

While the design of the extension follows that of a previously approved scheme, it is considered that as the proposal creates an additional dwelling, this would result in the intensification of the use of the site, namely through the associated additional car parking, garden subdivision, and front garden refuse storage, which would impact on the wider area in terms of urban design.

No objections are raised with regard to access and security.

7.12 Disabled access

With regards to Lifetime Home Standards, both properties appear to comply with these standards, in particular, the width of doors, halls and corridors are over 900mm wide. The living room areas are of a sufficient size for wheelchair turning and there is a large hall and living space at entrance level. There is a 900mm clear width adjacent to the main stairs to accommodate a stair lift if required in the future.

7.13 Provision of affordable & special needs housing

Not applicable to this application.

7.14 Trees, landscaping and Ecology

No change to landscaping is proposed, and no conditions are considered necessary.

7.15 Sustainable waste management

Not applicable to this application.

7.16 Renewable energy / Sustainability

Subject to conditions on any grant of permission, no objections are raised with regard to sustainability.

7.17 Flooding or Drainage Issues

Not applicable to this application.

7.18 Noise or Air Quality Issues

As discussed above, it is considered that the intensification of the use of the site would result in impacts on the wider area, in terms of noise and disturbance from additional vehicle and pedestrian movements, and additional people living in and visiting the site.

7.19 Comments on Public Consultations

The third party comments are addressed in the report.

7.20 Planning obligations

Not applicable to this application.

7.21 Expediency of enforcement action

The site is subject to an ongoing Enforcement Action.

7.22 Other Issues

There are no other relevant issues.

8. Observations of the Borough Solicitor

When making their decision, Members must have regard to all relevant planning legislation, regulations, guidance, circulars and Council policies. This will enable them to make an informed decision in respect of an application.

In addition Members should note that the Human Rights Act 1998 (HRA 1998) makes it unlawful for the Council to act incompatibly with Convention rights. Decisions by the Committee must take account of the HRA 1998. Therefore, Members need to be aware of the fact that the HRA 1998 makes the European Convention on Human Rights (the Convention) directly applicable to the actions of public bodies in England and Wales. The specific parts of the Convention relevant to planning matters are Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

Article 6 deals with procedural fairness. If normal committee procedures are followed, it is unlikely that this article will be breached.

Article 1 of the First Protocol and Article 8 are not absolute rights and infringements of these rights protected under these are allowed in certain defined circumstances, for example where required by law. However any infringement must be proportionate, which means it must achieve a fair balance between the public interest and the private interest infringed and must not go beyond what is needed to achieve its objective.

Article 14 states that the rights under the Convention shall be secured without discrimination on grounds of 'sex, race, colour, language, religion, political or other opinion, national or social origin, association with a national minority, property, birth or

other status'.

9. Observations of the Director of Finance

10. CONCLUSION

For the reasons outlined above, there is no objection to the design of the extension, however it is considered that the intensification of the site resulting from the proposed development does not comply with the aforementioned policies of the adopted Hillingdon Unitary Development Plan (Saved Policies September 2007) and Hillingdon Design & Accessibility Statement Residential Layouts. As such, this application is recommended for refusal.

11. Reference Documents

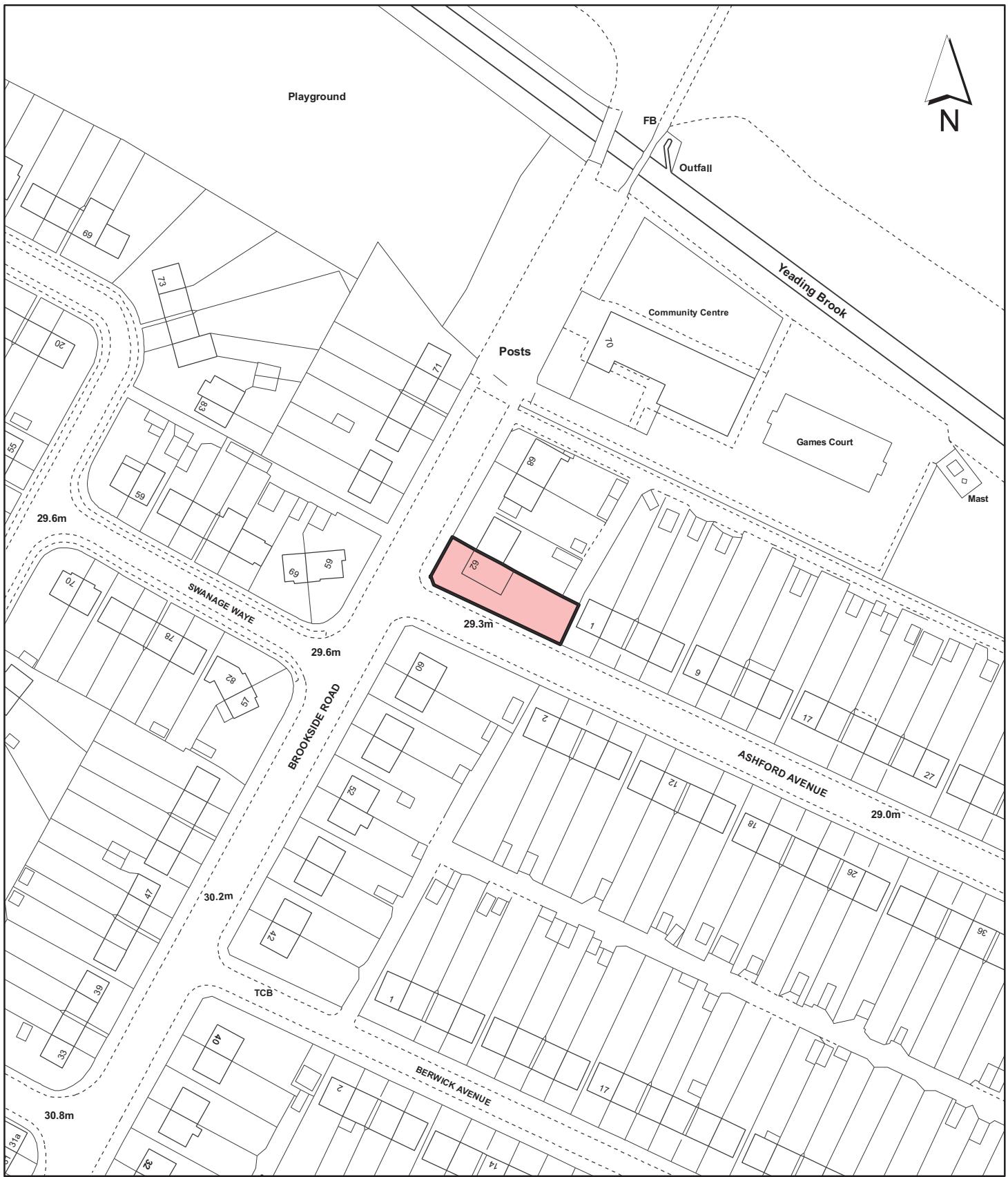
London Plan (July 2011)

Adopted Hillingdon Unitary Development Plan (Saved Policies September 2007)

Hillingdon Design & Accessibility Statement: Residential Layouts

Contact Officer: Sonia Bowen

Telephone No: 01895 250230



Notes

 Site boundary

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Site Address

**62A Brookside Road
Hayes**

**LONDON BOROUGH
OF HILLINGDON**
Planning,
Environment, Education
& Community Services
Civic Centre, Uxbridge, Middx. UB8 1UW
Telephone No.: Uxbridge 250111

Planning Application Ref:

22476/APP/2010/2879

Scale

1:1,250

Planning Committee

Central and South

Date

**August
2011**



HILLINGDON
LONDON

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Agenda Item 11

Report of the Head of Planning & Enforcement Services

Address BUCKINGHAMSHIRE COUNTY COUNCIL OUTBOROUGH MIDDLESEX

Development: Vary conditions 2 and 11 of planning permission SBD/8207/96 in order to import no more than 20,000 tonnes of material for recycling and to allow vehicles to unload unused/reject asphalt between 6am to 10pm Monday to Friday and 7am to 6pm Saturday and Sunday at Aggregate Industries UK Limited, Thorney Mill Road, Iver, Slough. (Consultation by Buckinghamshire County Council)

LBH Ref Nos: 39707/APP/2011/1988

Drawing Nos: Supporting Statement

Date Plans Received: 15/08/2011 **Date(s) of Amendment(s):**

Date Application Valid: 15/08/2011

1. SUMMARY

The application is for the variation of conditions 2 and 11 of planning permission SBD/8207/96 in order to import no more than 20,000 tonnes of material for recycling and to allow vehicles to unload unused/reject asphalt between 6am to 10pm Monday to Friday and 7am to 6pm Saturday and Sunday. The proposed operation has occurred at the site for the last two years, with no complaints of nuisance relating to the operation received by Hillingdon Council's Environmental Protection Unit. The proposal will have a limited impact on the Green Belt as there will be no increase in the current amount of material for recycling or the number of lorry movements within the site.

2. RECOMMENDATION

No Objection

3. CONSIDERATIONS

3.1 Site and Locality

The application site comprises a rail fed asphalt plant located on Thorney Mill Road. The application site is located on the boundary of Buckinghamshire County Council and London Borough of Hillingdon. The application site is located on land designated as Green Belt. The site is not located close to any residential properties in Hillingdon.

3.2 Proposed Scheme

The proposal is to vary conditions 2 and 11 of planning permission SBD/8207/96 in order to import no more than 20,000 tonnes of material for recycling and to allow vehicles to unload unused/reject asphalt between 6am to 10pm Monday to Friday and 7am to 6pm Saturday and Sunday. The proposal is to renew temporary planning permission SBD/09/00592/CM for a further two years.

3.3 Relevant Planning History

Comment on Relevant Planning History

The original planning permission SBD/8207/96, dated 29 July 1998, was granted permission at an appeal for a coated roadstone recycling operation at the site. The Planning Inspector stated that while the application site is located within the Green Belt, the proposed scheme would not result in significant harm to the Green Belt. In July 2009 Buckinghamshire County Council granted a two year temporary planning permission (SBD/09/00592/CM) for variation of conditions 2 and 11 of the planning permission SBD/8207/96 to allow up to 20,000 tonnes of material to be imported for recycling and to allow vehicles to unload unused/reject asphalt between 6am to 10pm Monday to Friday and 7am to 6pm Saturday and Sunday. The temporary permission (SBD/09/00592/CM) expired on July 2011. It should be noted that the London Borough of Hillingdon did not object to the 2009 temporary permission.

4. Planning Policies and Standards

UDP / LDF Designation and London Plan

The following UDP Policies are considered relevant to the application:-

Part 1 Policies:

Part 2 Policies:

OL5 Development proposals adjacent to the Green Belt

5. Advertisement and Site Notice

5.1 Advertisement Expiry Date:- Not applicable

5.2 Site Notice Expiry Date:- Not applicable

6. Consultations

External Consultees

This is a consultation by Buckinghamshire County Council.

Internal Consultees

Environmental Protection Unit:

I confirm that EPU has not been in receipt of complaint of nuisance from the activity which I note was subject to an identical temporary permission over the past 2 years. As such EPU would not raise objection to the proposed extension of this permission for a further 2 years.

7. MAIN PLANNING ISSUES

7.01 The principle of the development

The principle of the development was established under the original planning permission SBD/8207/96 and the temporary planning permission (SBD/09/00592/CM).

7.02 Density of the proposed development

Not applicable on this application.

7.03 Impact on archaeology/CAs/LBs or Areas of Special Character

Not applicable on this application.

7.04 Airport safeguarding

Not applicable on this application.

7.05 Impact on the green belt

Policy OL5 (Hillingdon's Unitary Development Plan Saved Policies September 2007) will only allow development adjacent to or conspicuous from the Green Belt if the development will not injure the visual amenities of the Green Belt. The proposed scheme, extension of temporary planning permission SBD/09/00592/CM, will have a limited impact on the visual amenities of the Green Belt and the proposed operation will not result in any increase in the level of material stored at the site.

7.07 Impact on the character & appearance of the area

Not applicable on this application.

7.08 Impact on neighbours

Not applicable on this application.

7.09 Living conditions for future occupiers

Not applicable on this application.

7.10 Traffic impact, Car/cycle parking, pedestrian safety

The proposal would not result in any change in the number of lorry movements as the proposal is for the continuation of the recently expired temporary planning permission SBD/09/00592/CM. There would be no traffic impact within the London Borough of Hillingdon as vehicles turn right when leaving the site and do not drive through Hillingdon.

7.11 Urban design, access and security

Not applicable on this application.

7.12 Disabled access

Not applicable on this application.

7.13 Provision of affordable & special needs housing

Not applicable on this application.

7.14 Trees, landscaping and Ecology

Not applicable on this application.

7.15 Sustainable waste management

Not applicable on this application.

7.16 Renewable energy / Sustainability

Not applicable on this application.

7.17 Flooding or Drainage Issues

Not applicable on this application.

7.18 Noise or Air Quality Issues

The site is an existing asphalt plant. The application seeks to extend the recently expired temporary permission to order to import no more than 20,000 tonnes of material for recycling and to allow vehicles to unload unused/reject asphalt between 6am to 10pm Monday to Friday and 7am to 6pm Saturday and Sunday. The Council's Environmental Protection Unit has not received any complaints of nuisance relating to this operation over the past two years. As such, it is not considered that the proposal would have any detrimental impacts on the amenity of residents within the London Borough of Hillingdon.

7.19 Comments on Public Consultations**7.20 Planning obligations**

Not applicable on this application

7.21 Expediency of enforcement action

Not applicable on this application.

7.22 Other Issues

8. Observations of the Borough Solicitor

When making their decision, Members must have regard to all relevant planning legislation, regulations, guidance, circulars and Council policies. This will enable them to make an informed decision in respect of an application.

In addition Members should note that the Human Rights Act 1998 (HRA 1998) makes it unlawful for the Council to act incompatibly with Convention rights. Decisions by the Committee must take account of the HRA 1998. Therefore, Members need to be aware of the fact that the HRA 1998 makes the European Convention on Human Rights (the Convention) directly applicable to the actions of public bodies in England and Wales. The specific parts of the Convention relevant to planning matters are Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

Article 6 deals with procedural fairness. If normal committee procedures are followed, it is unlikely that this article will be breached.

Article 1 of the First Protocol and Article 8 are not absolute rights and infringements of these rights protected under these are allowed in certain defined circumstances, for example where required by law. However any infringement must be proportionate, which means it must achieve a fair balance between the public interest and the private interest infringed and must not go beyond what is needed to achieve its objective.

Article 14 states that the rights under the Convention shall be secured without discrimination on grounds of 'sex, race, colour, language, religion, political or other opinion, national or social origin, association with a national minority, property, birth or other status'.

9. Observations of the Director of Finance

10. CONCLUSION

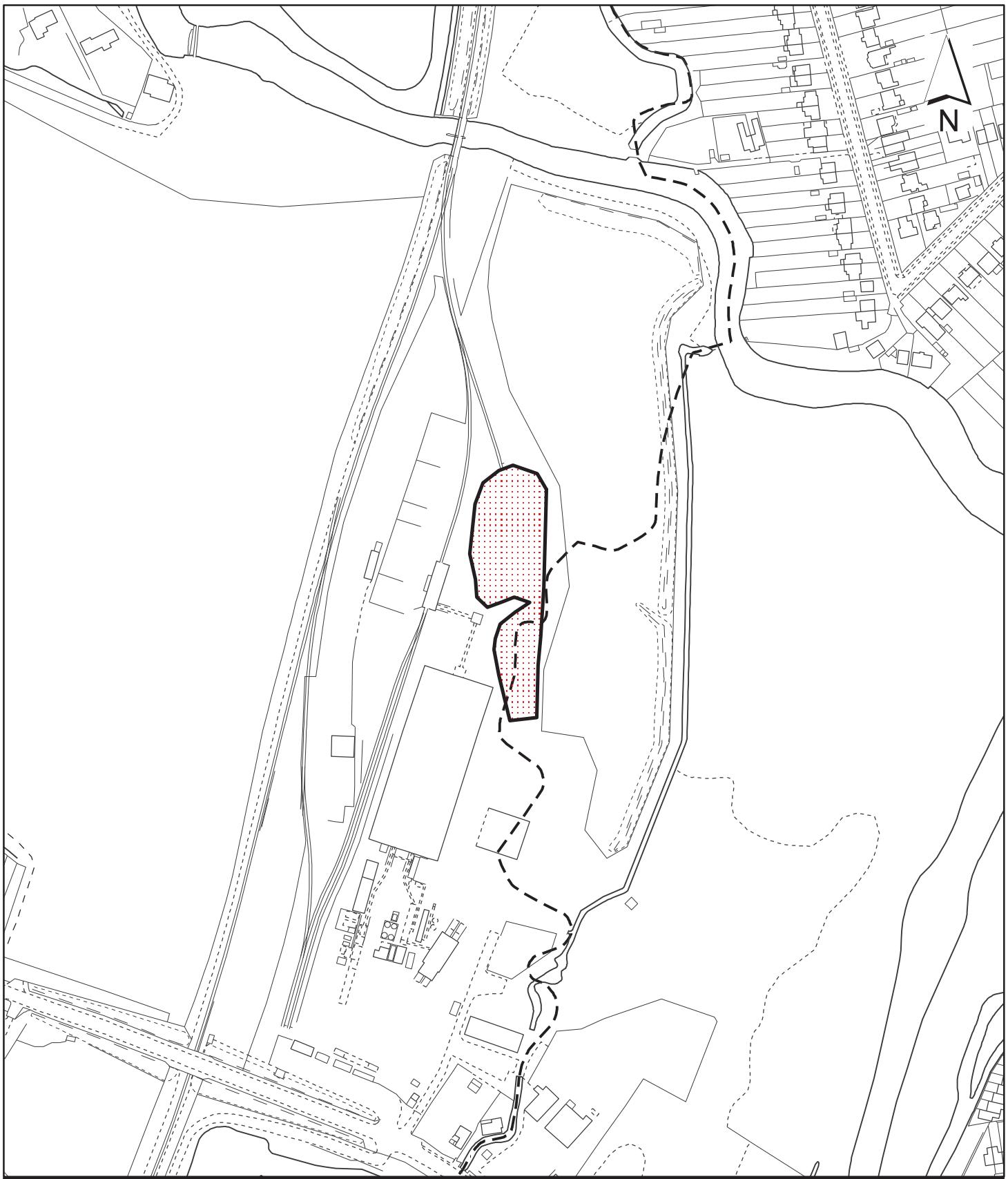
There are no objections to the variation of conditions 2 and 11 of planning permission SBD/8207/96 in order to import no more than 20,000 tonnes of material for recycling and to allow vehicles to unload unused/reject asphalt between 6am to 10pm Monday to Friday and 7am to 6pm Saturday and Sunday. The proposed operation has occurred at the site for the last two years and Hillingdon Council's Environmental Protection Unit has not received any complaints of nuisance relating to this operation during this time. The proposal will have a limited impact on the Green Belt as there will be no increase in the current amount of material for recycling or the number of lorry movements within the site above that which has been present in the last two years.

11. Reference Documents

Hillingdon's Unitary Development Plan Saved Policies September 2007.

Contact Officer: Adrien Waite

Telephone No: 01895 250230

**Notes**

 Site boundary

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Site Address

Aggregate Industries UK Limited
Thorney Mill Road
Iver, Slough

Planning Application Ref:

39707/APP/2011/1988

Scale

1:3,000

Planning Committee

Central and South

Date

**August
2011**

**LONDON BOROUGH
OF HILLINGDON**
Planning,
Environment, Education
& Community Services
Civic Centre, Uxbridge, Middx. UB8 1UW
Telephone No.: Uxbridge 250111



HILLINGDON
LONDON

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Agenda Item 12

By virtue of paragraph(s) 6 of Part 1 of Schedule 12A
of the Local Government (Access to Information) Act 1985 as amended.

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Agenda Item 13

By virtue of paragraph(s) 6 of Part 1 of Schedule 12A
of the Local Government (Access to Information) Act 1985 as amended.

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Plans for Central & South Planning Committee

6th September 2011



HILLINGDON
LONDON



INVESTOR IN PEOPLE

Report of the Head of Planning & Enforcement Services

Address 61 ADELPHI CRESCENT HAYES

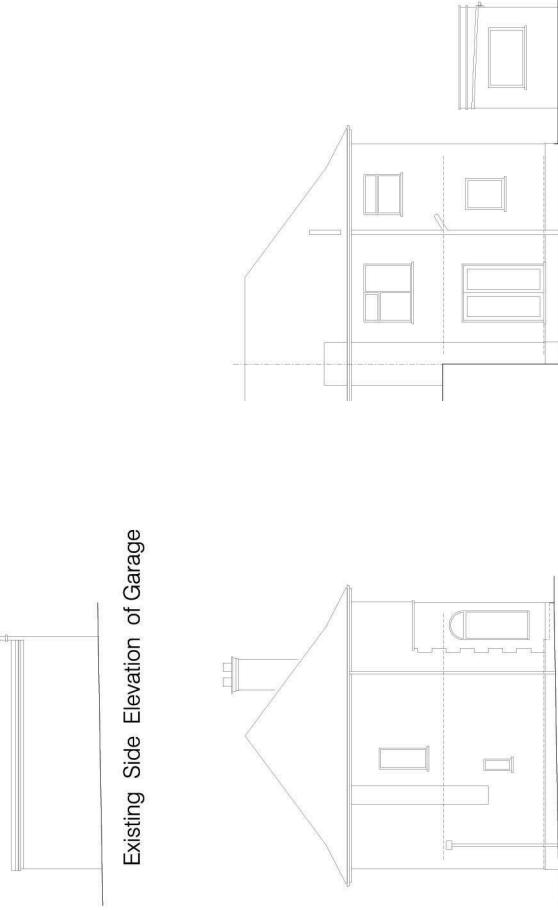
Development: Conversion of dwelling to 1, two-bedroom flat and 1 studio flat, part two storey, part single storey side extension and single storey rear extension, involving demolition of existing detached garage to side and alterations to front.

LBH Ref Nos: 60953/APP/2011/1214

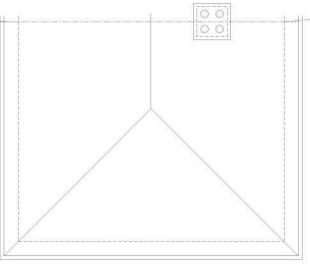
Date Plans Received: 18/05/2011 **Date(s) of Amendment(s):** 31/05/2011

Date Application Valid: 02/06/2011

Existing Side Elevation of Garage



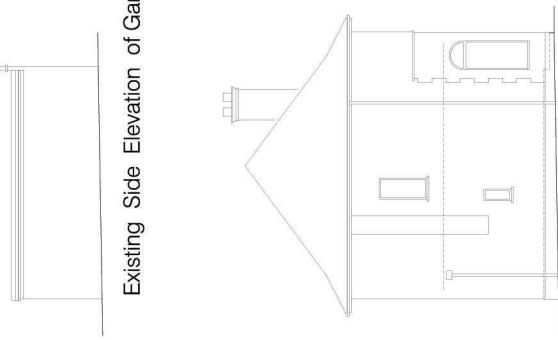
Existing Rear Elevation



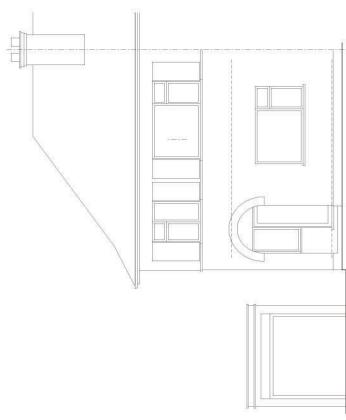
Existing Roof



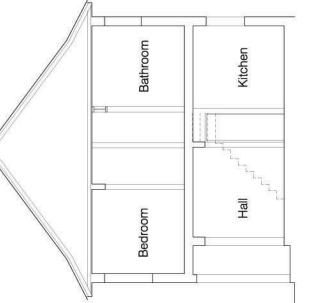
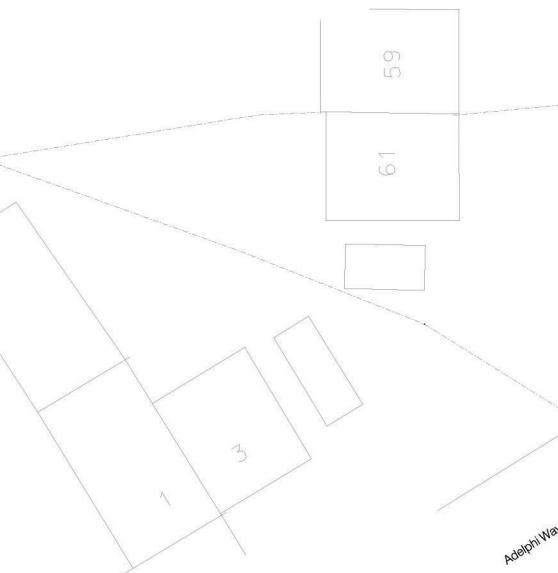
Existing Side Elevation



Existing Front Elevation

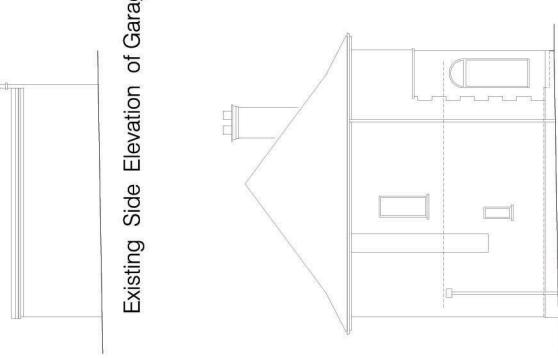


Page 01
Existing Block Plan. 1:200 Scale

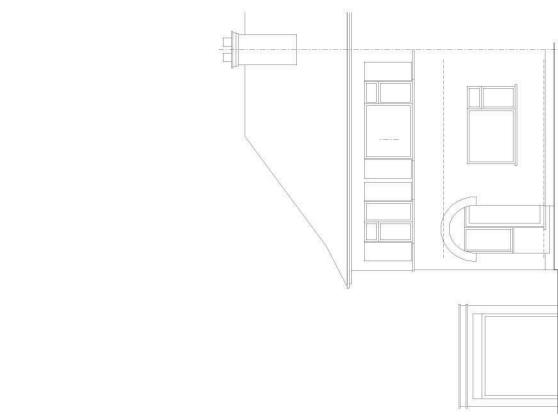


Existing Section

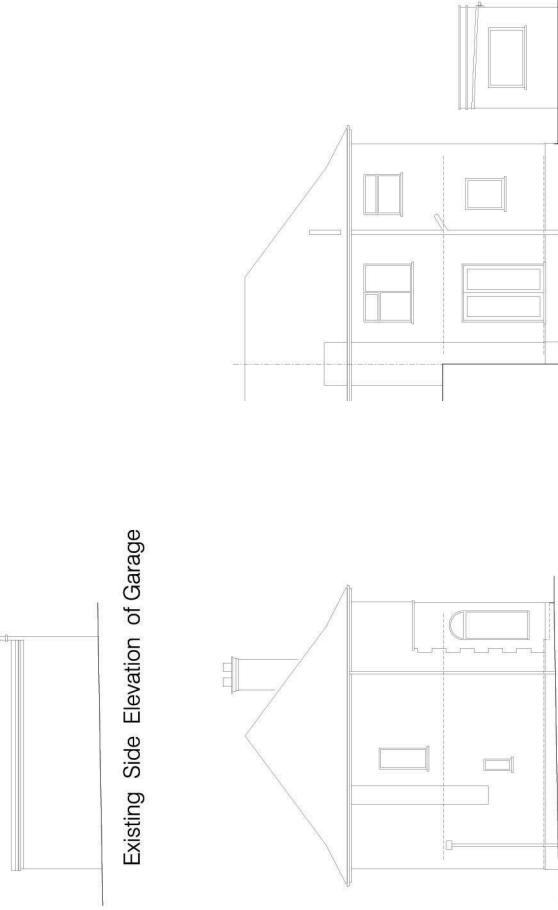
Existing First Floor Plan



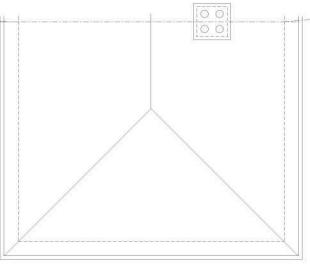
Existing Ground Floor Plan



Existing Rear Elevation



Existing Rear Elevation



Existing Roof



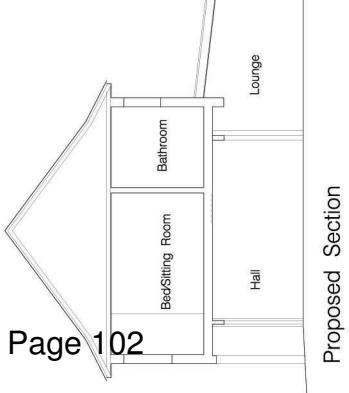
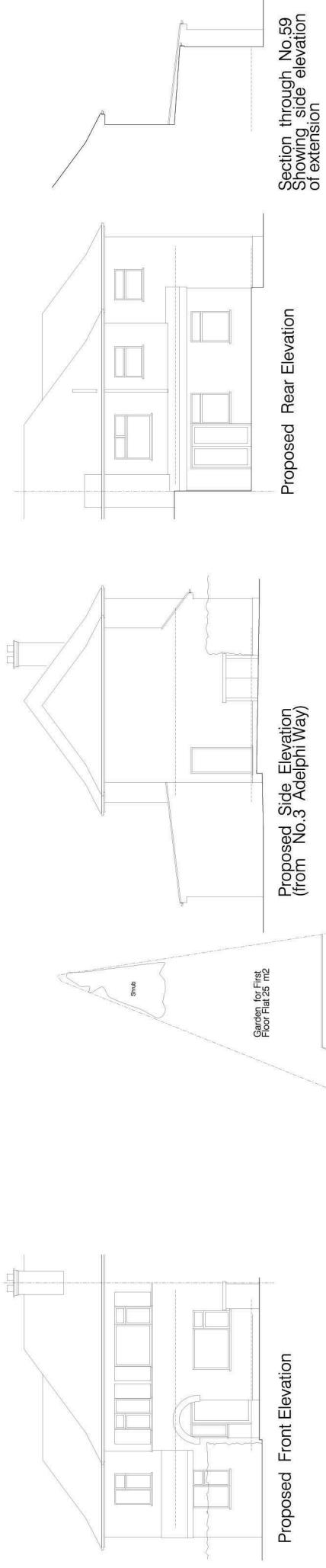
Existing External Finishes
Walls:
Front Elevation – Red brick up to first floor window cill level.
Pebble dash render above.
Slate & Red brick roof.
Roof: Red plain tiles

Rev A – 31/05/11 – Floor layouts revised. Kitchen door omitted.

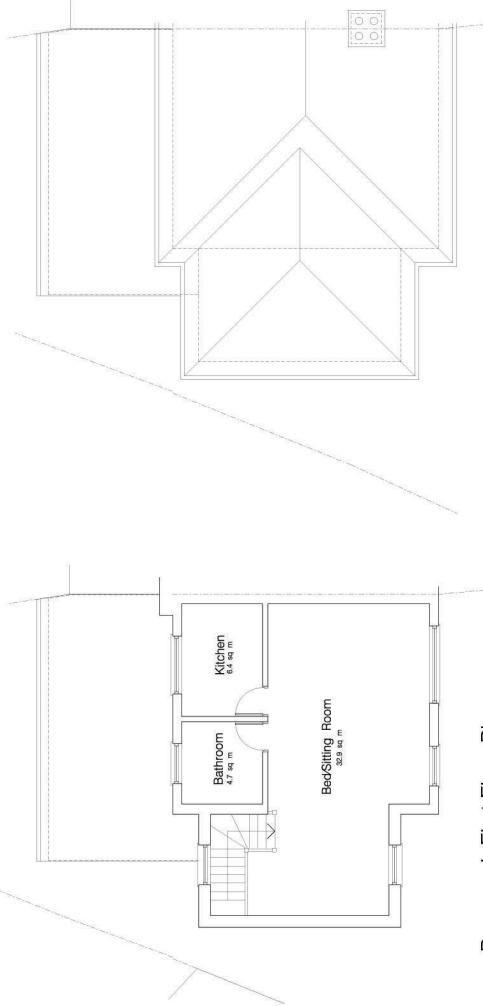
Extensions and conversion of house 61 Adelphi Crescent, Hayes UB4 8JZ		Existing Plans, Elevations & Section
SCALE: 1:100 (at A2)	DATE: January 2010	DRAWING NO: 3477/EX01 Rev A

28 Maycroft Gardens, London NW10 3BL Tel: 020 8951 0365

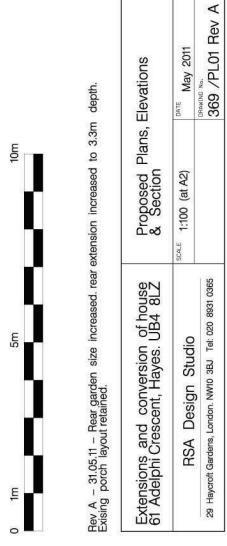
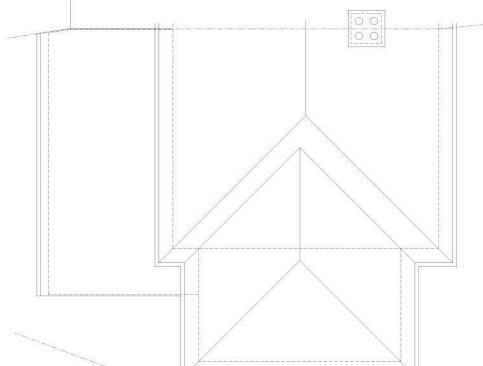
RSA Design Studio



Page 102



Proposed Roof
Proposed First Floor Plan



Rev A - 31/05/11 - Rear garden size increased, rear extension increased to 3.3m, depth, Existing porch layout retained.

Extensions and conversion of house

61 Adelphi Crescent, Hayes UB4 8JZ

RSA Design Studio

28 Mayford Gardens, London NW10 3BL Tel: 020 8951 0365

May 2011

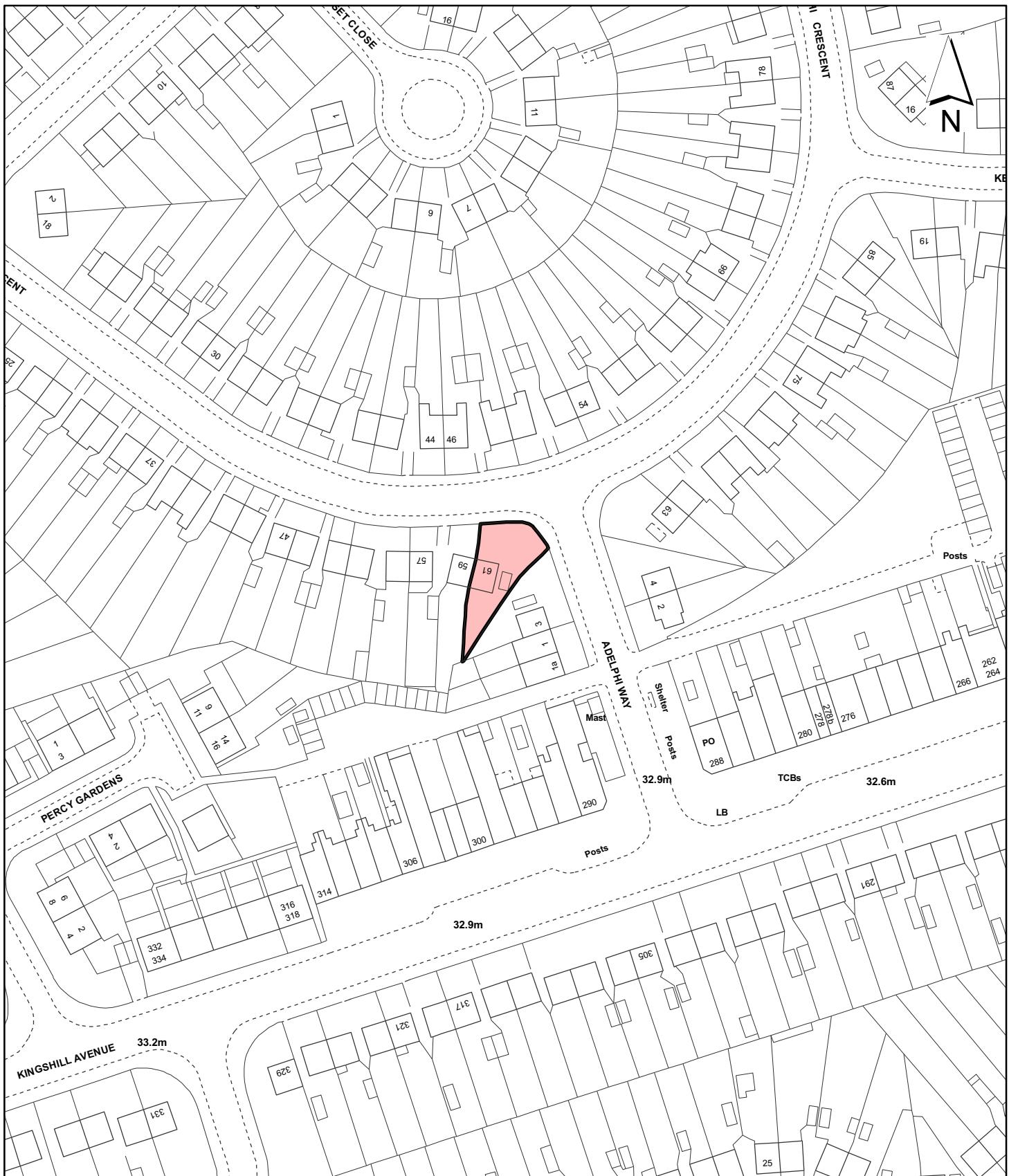
Change No:

369 /PL01 Rev A

Proposed External Finishes

Walls: Front Elevation – Red brick ground floor to match existing. Side & Rear Elevation – Pebble dash render to match existing. Roofs: Two storey extension roof and single storey roof to front: Red plain tiles to match existing. Rear single storey extension roof to rear: Roofing membrane

Proposed Ground Floor Plan & Site Plan



Notes

 Site boundary

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Site Address

**61 Adelphi Crescent
Hayes**

**LONDON BOROUGH
OF HILLINGDON**
Planning,
Environment, Education
& Community Services
Civic Centre, Uxbridge, Middx. UB8 1UW
Telephone No.: Uxbridge 250111

Planning Application Ref:

60953/APP/2011/1214

Scale

1:1,250

Planning Committee

Central and South

Date

**August
2011**



HILLINGDON
LONDON

Report of the Head of Planning & Enforcement Services

Address: 1, 2, 4, 5 & 6 SCHOOL APPROACH FREDORA AVENUE HAYES

Development: Erection of 2, two bedroom, two storey semi detached maisonettes with associated amenity space, parking spaces in and adjacent to existing garages, boundary wall to front and removal of existing vehicular crossover involving the demolition of 3 ancillary garages

LBH Ref Nos: 63421/APP/2011/1035

Date Plans Received: 28/04/2011 **Date(s) of Amendment(s):** 03/05/2011
Date Application Valid: 23/05/2011 11/05/2011

Simon Hands and Associates
Chartered Surveyors & Architects
12 Ruslip Road
Greenford
Middlesex
UB6 9QN
Tel 020 8575 5959
Fax 020 8575 8866
email: info@shandsassociates.co.uk

Median Properties Limited

Job Title **New Build Development**
School Approach **Friedora Avenue**
HAYES
UB4 8RH

Drawing Title
**EXISTING & PROPOSED
BLOCK PLANS**

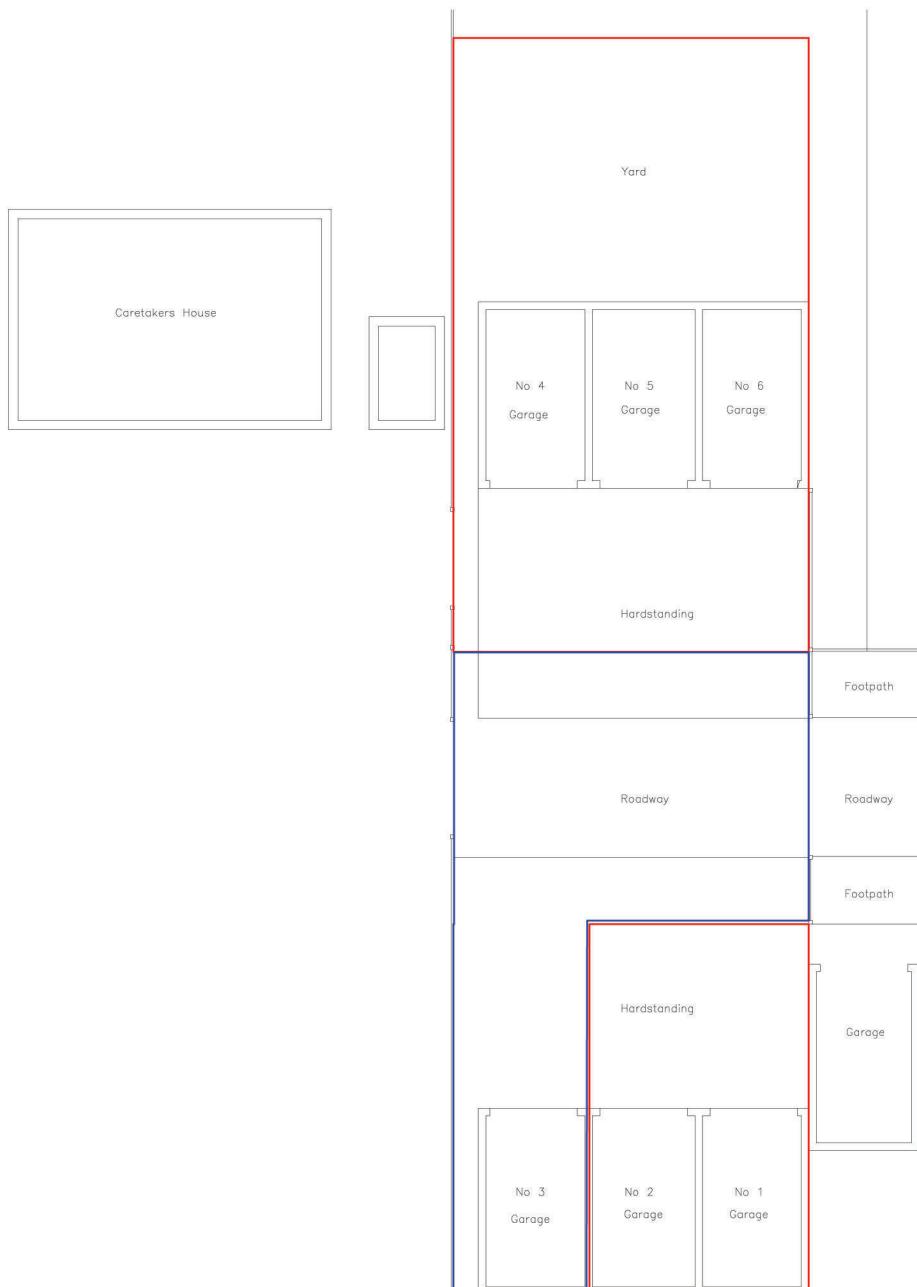
Scale	1:200	Paper Size	A3
Date	MAY 2011	Drawn By	EJC
Job No	2011067	Drgr No	PL01
		Rev	

PROPOSED BLOCK PLAN

EXISTING BLOCK PLAN



Notes:
All dimensions must be checked on site and not scaled
from this drawing



GROUND FLOOR 1:200

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Simon Hands and Associates
Chartered Surveyors & Architects

12 Ruislip Road
Greenford
Middlesex UB6 9QN
Tel 020 8575 5959
Fax 020 8575 8866
email: info@shandsassociates.co.uk

Client
Median Properties Limited

Job Title
New Build Development
School Approach Fredora Avenue
HAYES
UB4 8RH

Drawing Title
EXISTING PLANS

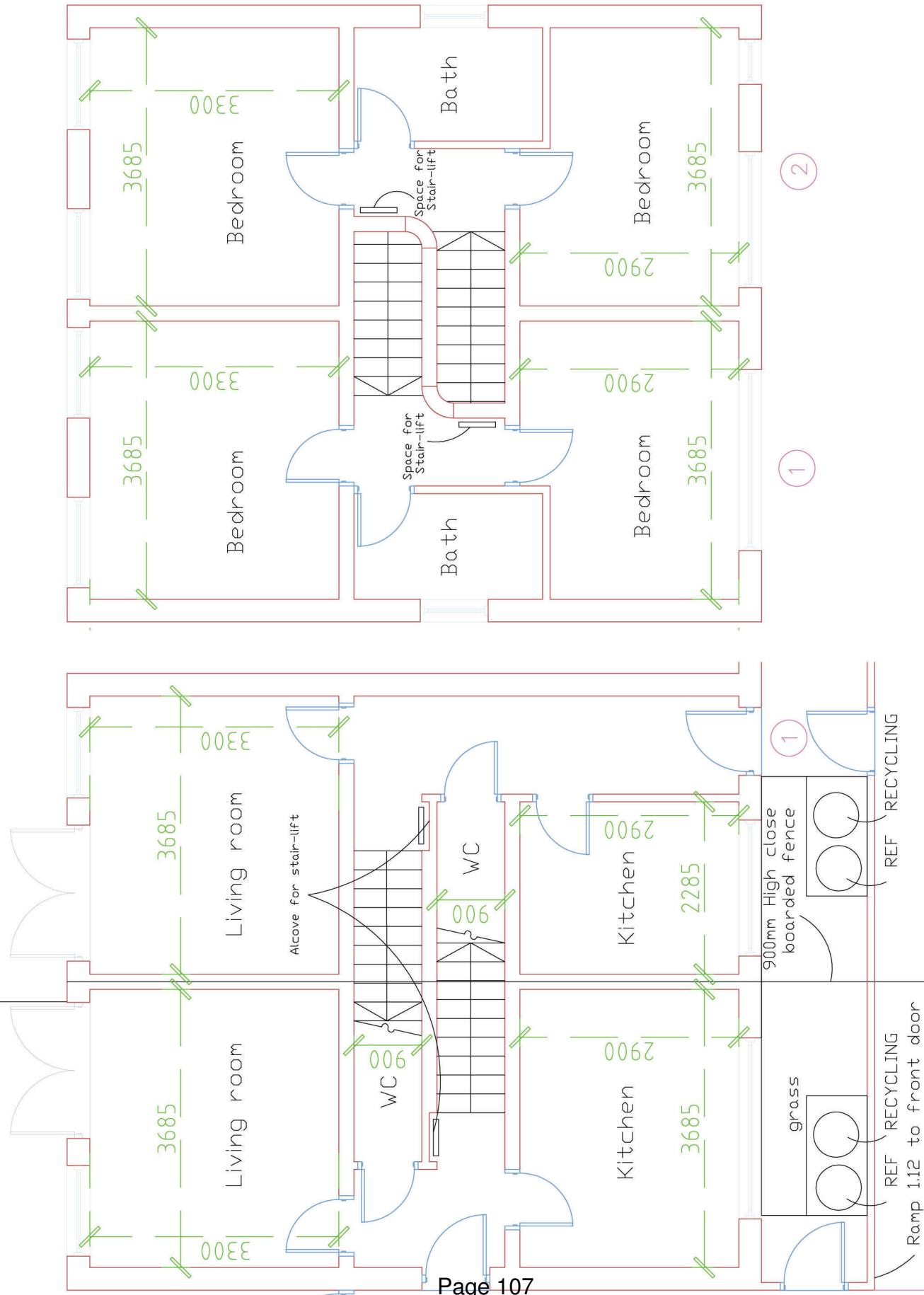
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1.200

Paper Size
A4

Date
MARCH 11

Drawn By
CEC

Job No 2011067	Drg No 1	Rev
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HEALTH & SAFETY

In designing this scheme Simon Hands and Associates has attempted to eliminate as many Health & Safety risks as possible.

However the following risks could not be fully eliminated and contractor is to ensure he/she makes adequate provision for these risks

Commercial - these works are to a commercial premises. The client is obliged to employ a competent Construction Design and Management Co-ordinator (CDMCo) to adhere to the requirements of the Construction Design (and Management) Regulations, and to check the competency of the contractor and all consultants. The CDMCo must be appointed before the design is being prepared for planning permission i.e. after initial feasibility stage.

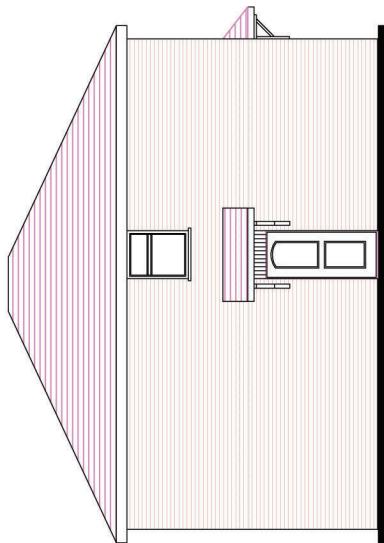
The client and all parties are obliged to provide all relevant information likely to affect the works or any operatives. Works may not commence until health and safety issues are adequately resolved.

If a Type 3 asbestos survey has not been undertaken it must be undertaken as a matter of urgency and any observations made known to all parties. Likewise, a soil test must be carried out, due to previous use of the site (garages). Proper sanitary and mess facilities are to be provided for the entire duration of the works.

Demolition - before demolition all services are isolated.

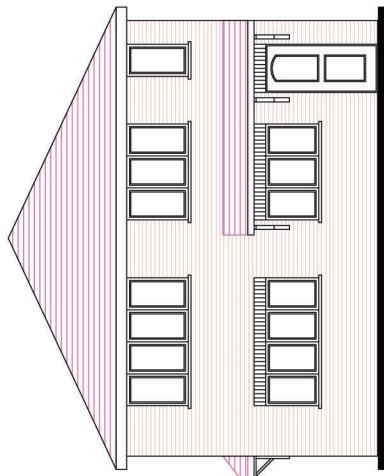
Excavation - during excavation ensure proper support is provided to the sides of all trenches.

Installation of beams - mechanical lifting gear to be used to lift heavy weight beams.



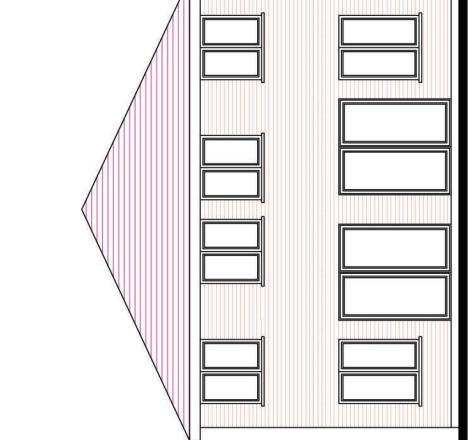
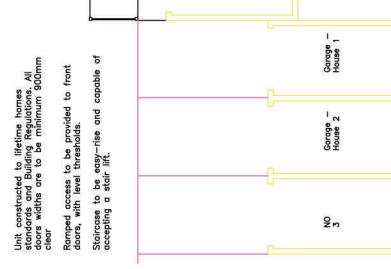
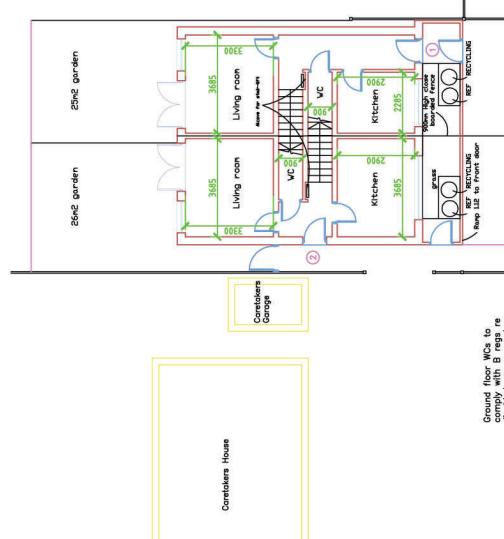
SIDE ELEVATION 1:100

Obscured glazing to bathroom windows



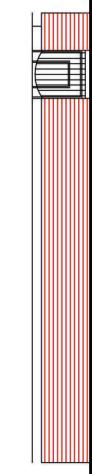
FRONT ELEVATION 1:100

Obscured glazing to bathroom windows



REAR ELEVATION 1:100

Obscured glazing to bathroom windows



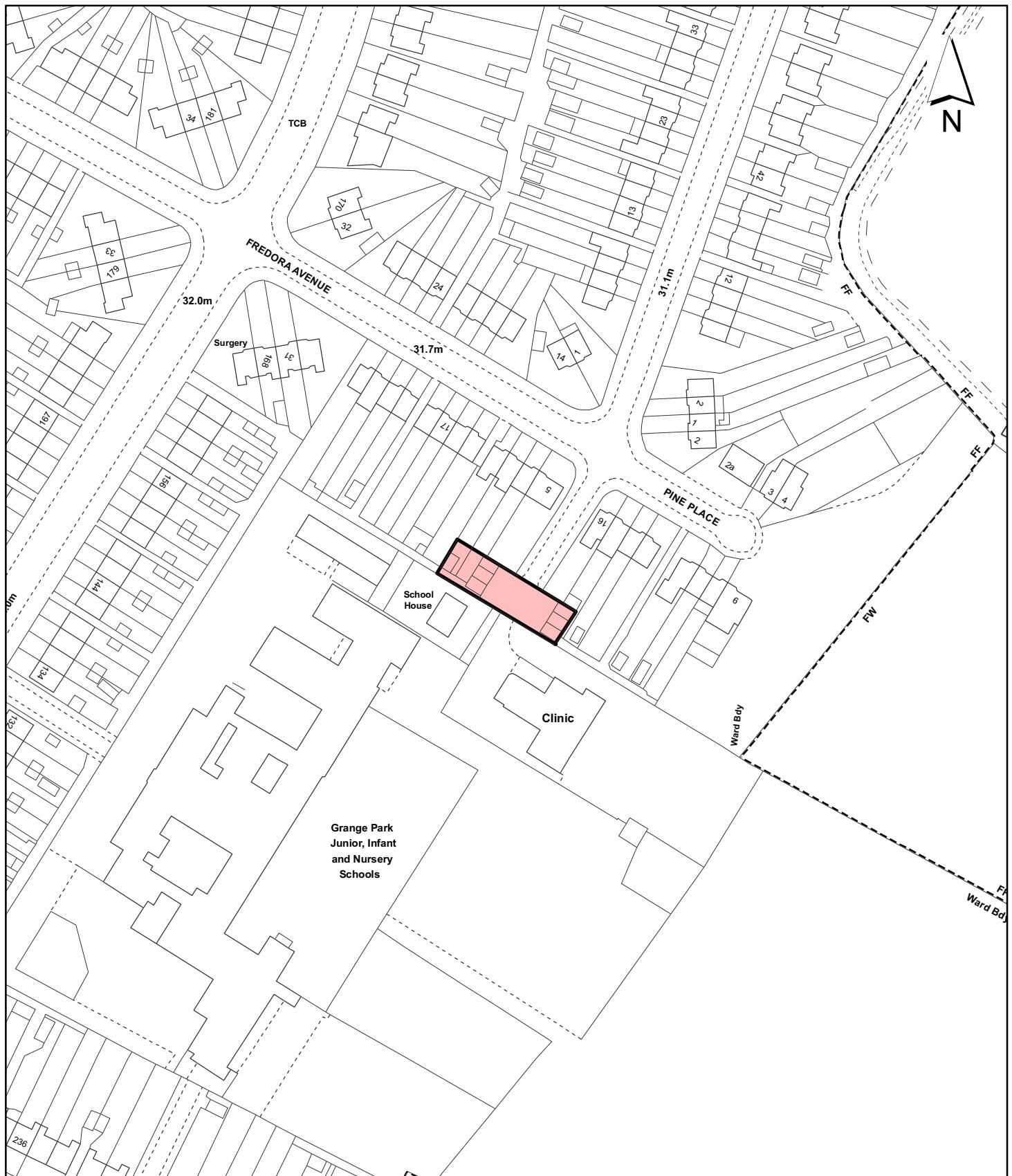
Scale	1:100, 1:200	Page Size	A3	Drawn By	CEC
Date	MARCH 11	Drg No	22	Rev	

FRONT WALL ELEVATION 1:100

BLOCK PLAN 1:200

SIDE ELEVATION 1:100





Notes

 Site boundary

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Site Address

**1,2,4,5 & 6 School Approach
Fredora Avenue
Hayes**

**LONDON BOROUGH
OF HILLINGDON**
Planning,
Environment, Education
& Community Services
Civic Centre, Uxbridge, Middx. UB8 1UW
Telephone No.: Uxbridge 250111

Planning Application Ref:

63421/APP/2011/1035

Scale

1:1,250

Planning Committee

Central and South

Date

**August
2011**



HILLINGDON
LONDON

Report of the Head of Planning & Enforcement Services

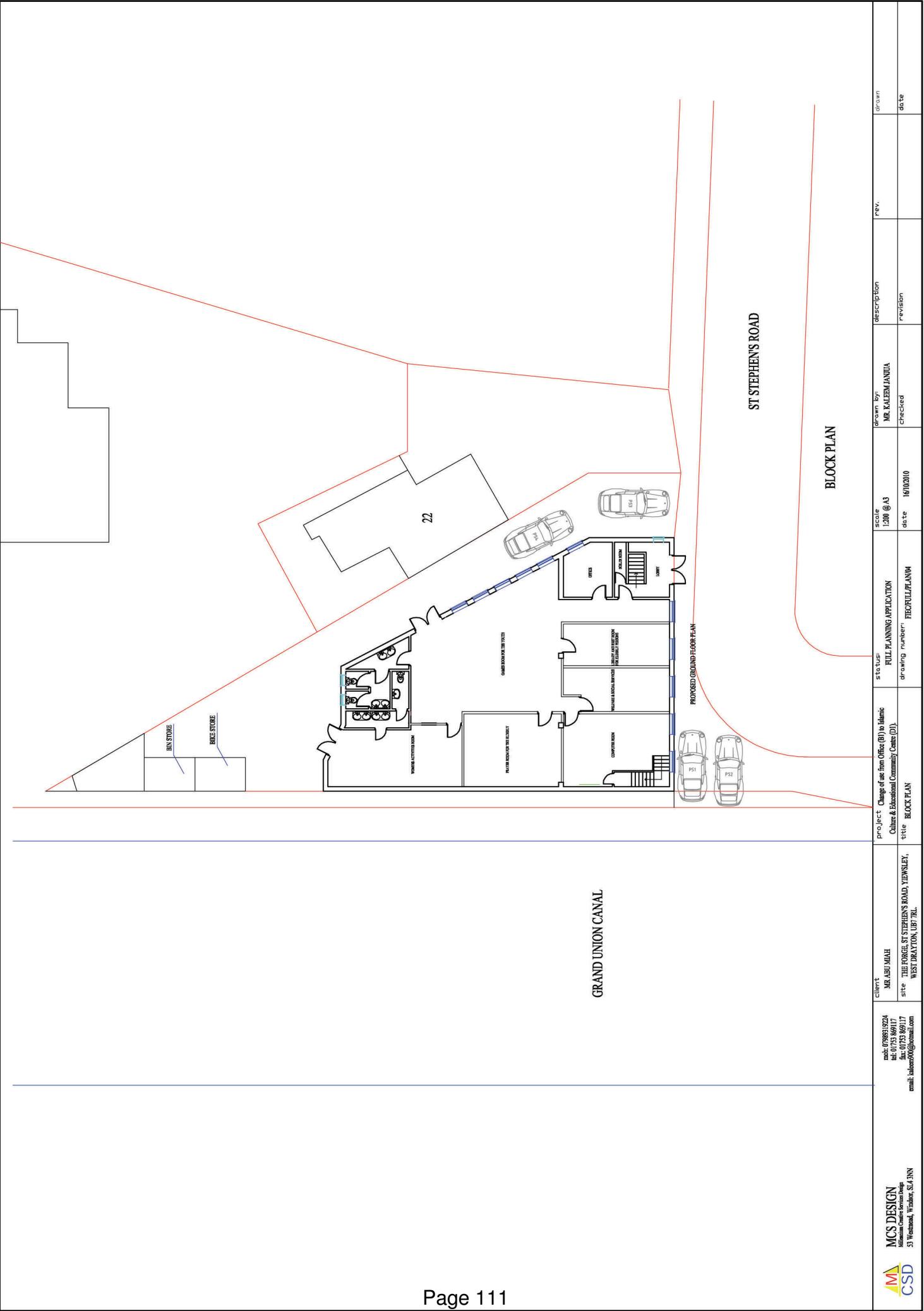
Address THE FORGE ST STEPHENS ROAD YIEWSLEY

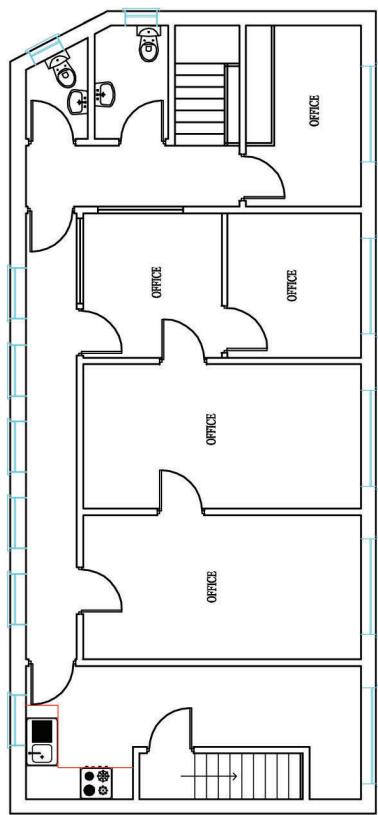
Development: Change of use from Class B1 (Business) to Class D1 (Non-residential Institutions) for use as Islamic Culture and Educational Community Centre (Retrospective).

LBH Ref Nos: 67384/APP/2010/2499

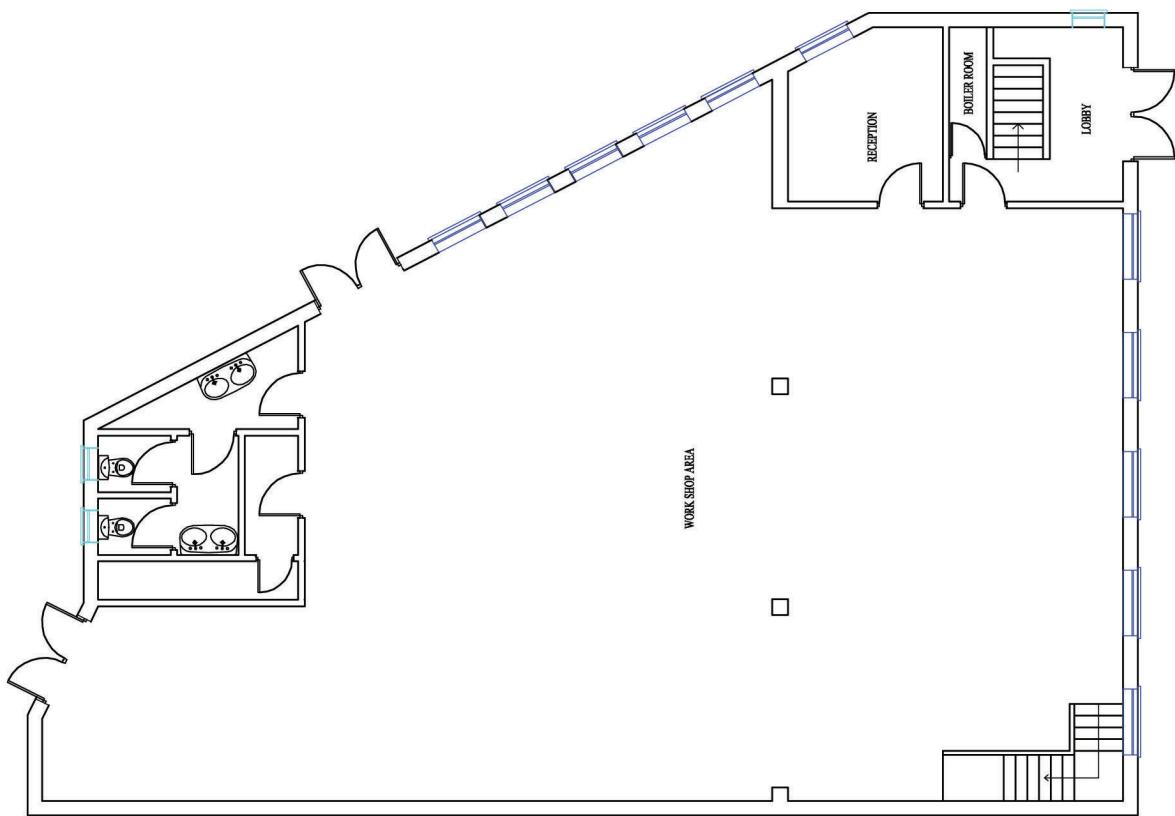
Date Plans Received: 27/10/2010 **Date(s) of Amendment(s):**

Date Application Valid: 08/12/2010



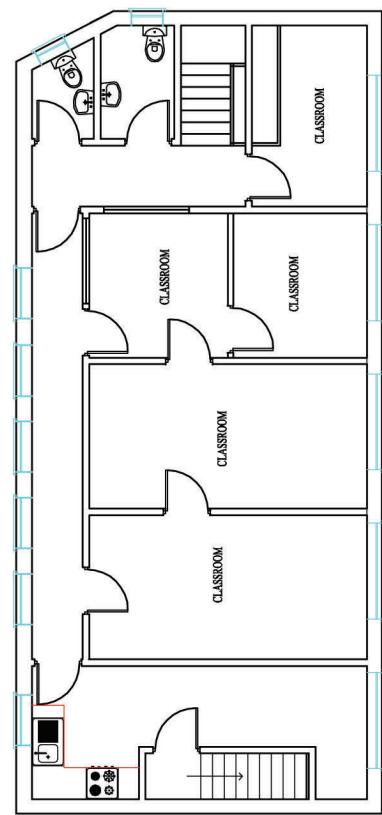


EXISTING FIRST FLOOR PLAN

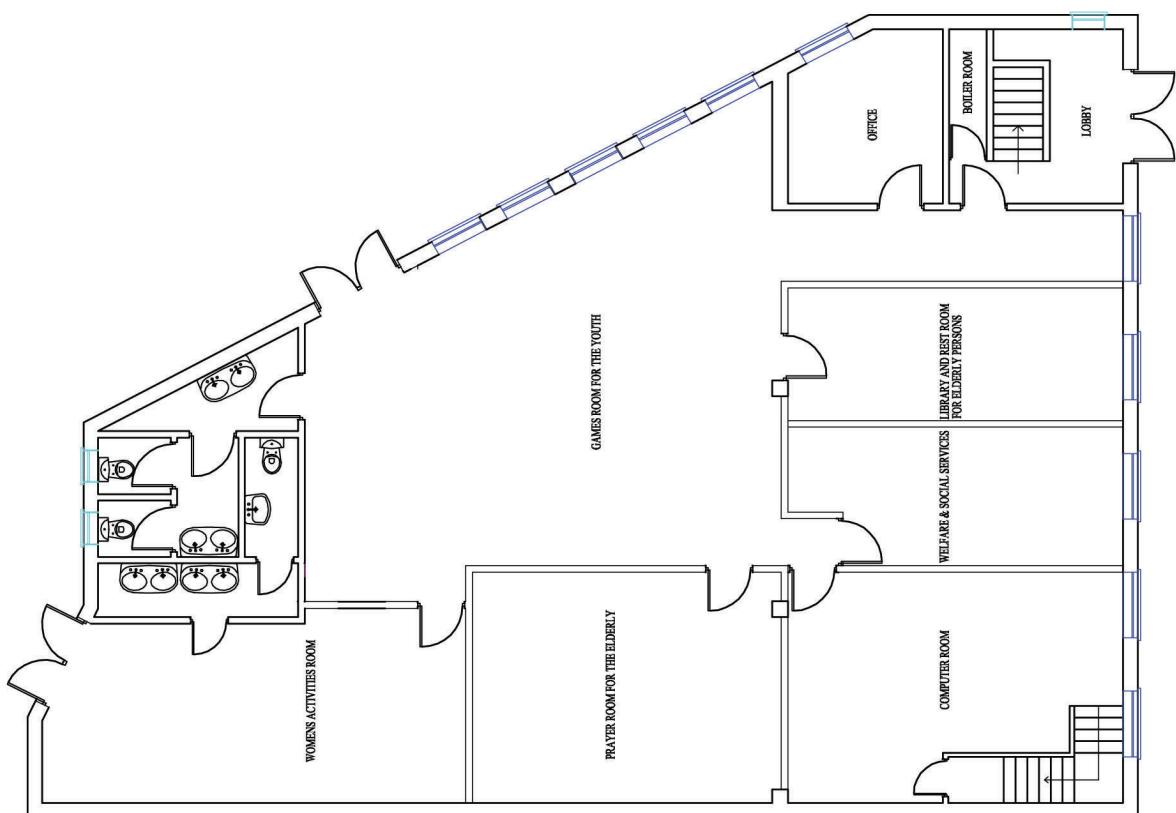


EXISTING GROUND FLOOR PLAN

MCS DESIGN Mitsubishi Chemical Services Design 53 Westland, Webster, S.A. 33N		client mb: 0709831924 tel: 01753 869117 fax: 01753 869117 email: alecson@gmail.com	project Change of use from Office (B1) to Islamic Culture & Educational Community Centre (D1). site: THE FORGE, ST STEPHENS ROAD, YENSWLEY, WEST DRAYTON, LONDON, UB7 7RL.	status: FULL PLANNING APPLICATION title EXISTING GROUND AND FIRST FLOOR PLAN	scale: 1:100 @ A3 drawing number: REF:ML/PLANO2	drawn by: MR. KALEEM JANIA checked 16/10/2010	description revision date
 CSD							



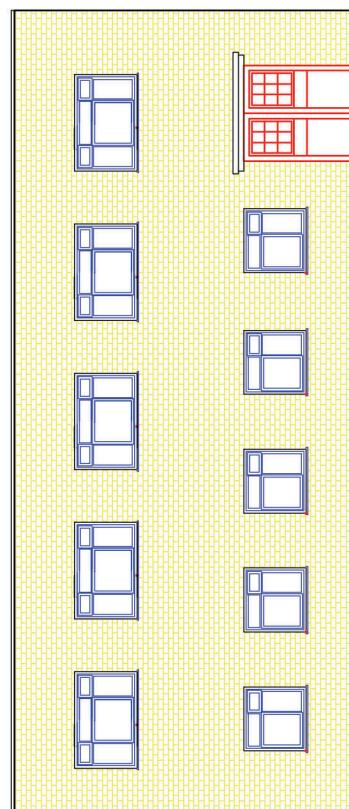
PROPOSED FIRST FLOOR PLAN



PROPOSED GROUND FLOOR PLAN

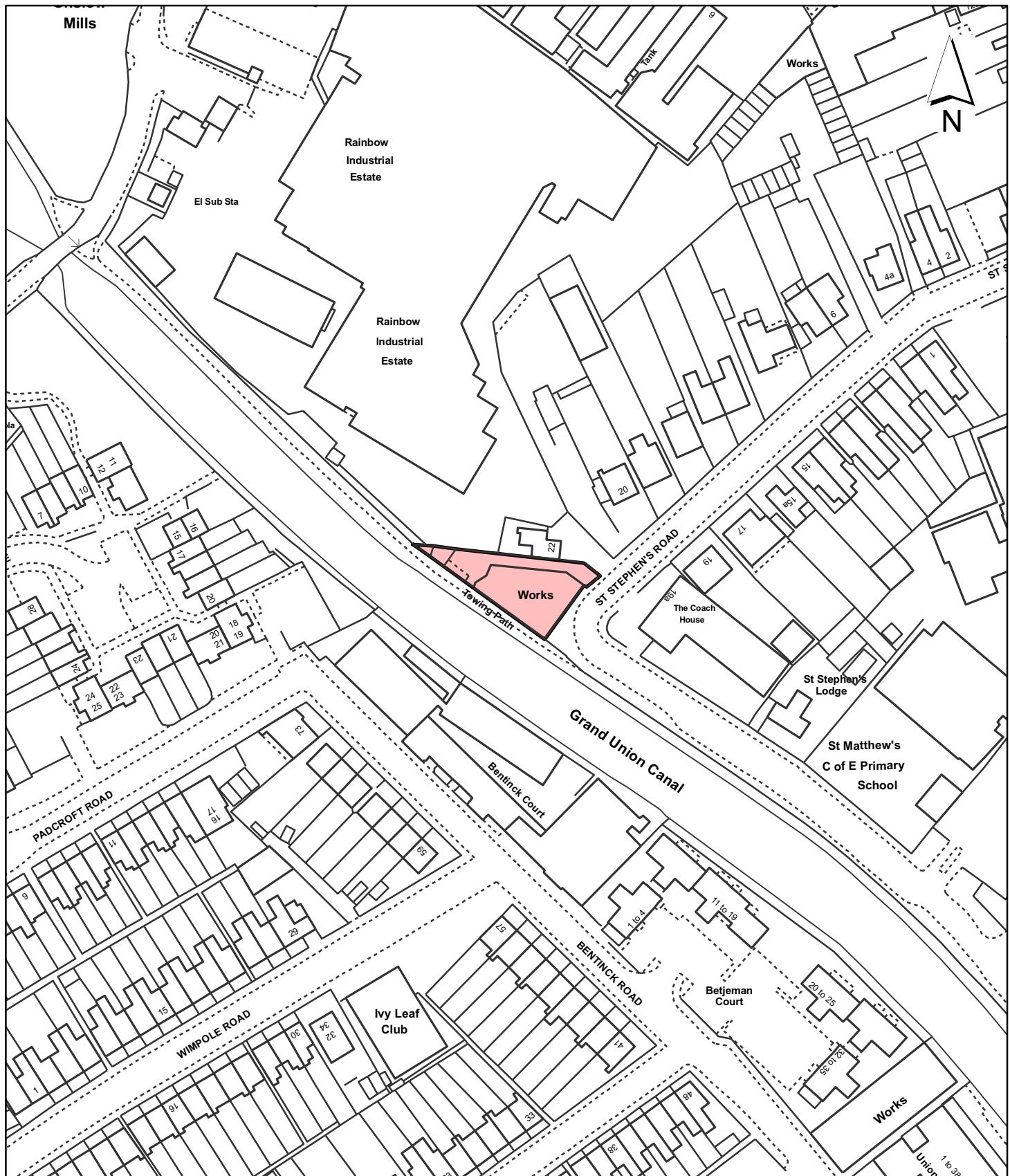
client	project	status	drawn by	description	rev.
MR. ABU MAJAH tel: 0175 869117 site: THE FORGE ST STEPHENS ROAD, YEWESLEY, WEST DRASTON, LUTON, LU7 7RL email: abu@abu999.com	Change of use from Office (B) to Islamic Culture & Educational Community Centre (D). title: PROPOSED GROUND AND FIRST PLAN	FULL PLANNING APPLICATION drawing number: FIRE/UL/PLAN/03	MR. KALEEM JAHANNA checked	1:100 @ A3 date: 16/10/2010	drawn date
MCS DESIGN M&S Associates 53 Westgate, Woking, Surrey, GU2 8RN tel: 01483 79224 fax: 01483 79224 email: abu@abu999.com	client tel: 0175 869117 site: THE FORGE ST STEPHENS ROAD, YEWESLEY, WEST DRASTON, LUTON, LU7 7RL email: abu@abu999.com	client tel: 0175 869117 site: THE FORGE ST STEPHENS ROAD, YEWESLEY, WEST DRASTON, LUTON, LU7 7RL email: abu@abu999.com	client tel: 0175 869117 site: THE FORGE ST STEPHENS ROAD, YEWESLEY, WEST DRASTON, LUTON, LU7 7RL email: abu@abu999.com	client tel: 0175 869117 site: THE FORGE ST STEPHENS ROAD, YEWESLEY, WEST DRASTON, LUTON, LU7 7RL email: abu@abu999.com	client tel: 0175 869117 site: THE FORGE ST STEPHENS ROAD, YEWESLEY, WEST DRASTON, LUTON, LU7 7RL email: abu@abu999.com

EXISTING FRONT ELEVATION



MCS DESIGN <small>Architectural, Interior & Structural Design Services</small> <small>53 Westgate, Wirksworth, Derbyshire, DE4 3RN</small>	client MR. ABU MAJAH site: THE FORGE, STEPHENS ROAD, YEVESLEY, WEST DRAYTON, UB7 7RL	project Change of use from Office (B1) to Islamic Culture & Educational Community Centre (D).	status FULL PLANNING APPLICATION drawing number RE0011/PLANN/01	scale 1:100 @ A3	drawn by MR. KALEEM JAHANNA checked	description revision	rev.
							date 16/10/2010





Notes

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Site Address

**The Forge
St. Stephens Road
Yiewsley**

**LONDON BOROUGH
OF HILLINGDON**
Planning,
Environment, Education
& Community Services
Civic Centre, Uxbridge, Middx. UB8 1UW
Telephone No.: Uxbridge 250111

Planning Application Ref:
67384/APP/2010/2499

Scale

1:1,250

Planning Committee

Date

Central and South

**July
2011**



HILLINGDON
LONDON

Report of the Head of Planning & Enforcement Services

Address 4 HAROLD AVENUE HAYES

Development: Single storey side and rear wraparound extension

LBH Ref Nos: 67940/APP/2011/1780

Date Plans Received: 20/07/2011 **Date(s) of Amendment(s):** 21/07/2011

Date Application Valid: 01/08/2011

Central & South Planning Committee - 6th September 2011
PART 1 - MEMBERS, PUBLIC & PRESS

REVISIONS
A
DATE
July 11
NOTE
design amended



SITE LOCATION 1:1250

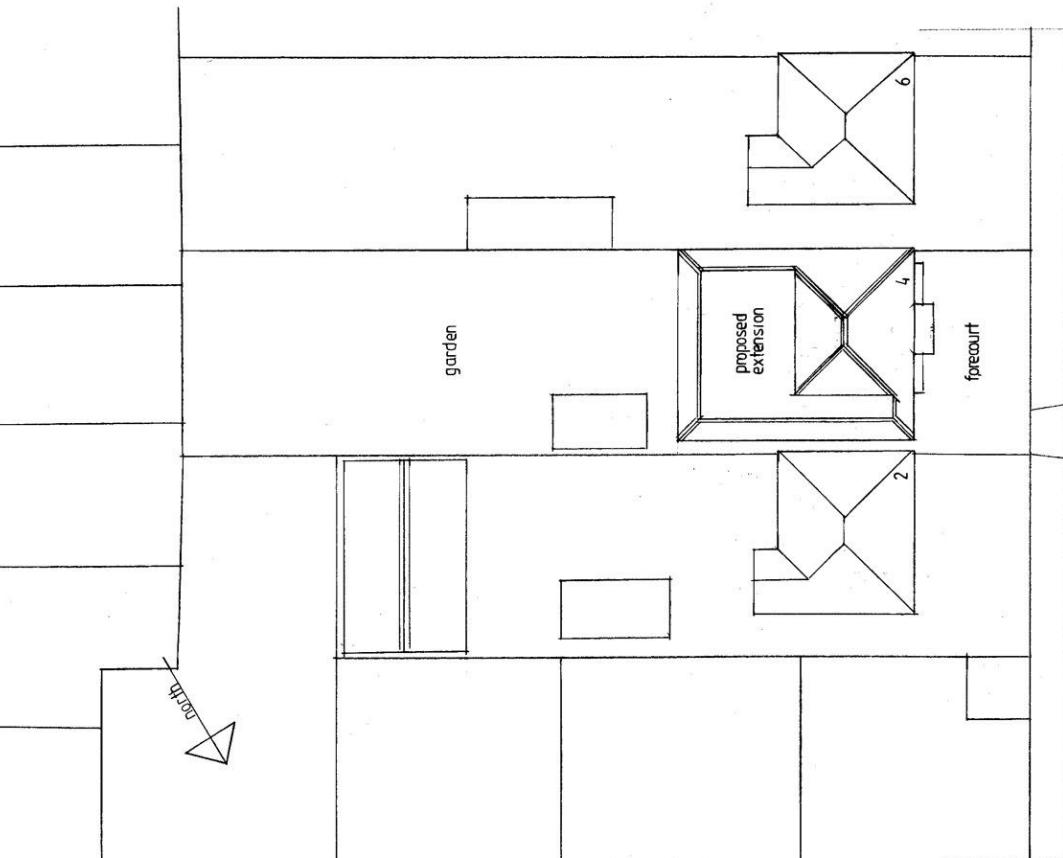
homeplans

Church Gardens, Church Hill, Harefield, Middlesex UB9 6DU
T: 01895 822488 F: 01895 822488
E: patrickkathomeplans@btinternet.com

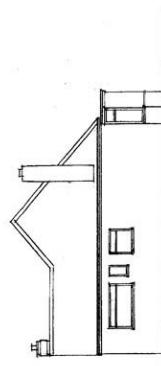
CLIENT: MR M KHURSHEED
PROJECT: 4 HAROLD AVENUE
HAYES UB9 4QW

TITLE:	DESIGN PROPOSAL SITE & LOCATION	DRAWN:	DRG NO:
DATE: JULY 2011	SCALE: 1:200 AT A2	DRAWN: A	DRG NO: 160415

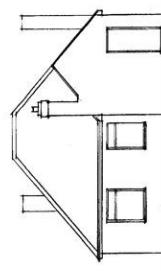
BLOCK PLAN 1:200
1m
5m
2m



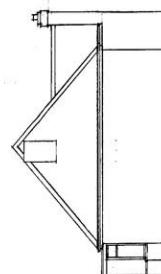
REVISION DATE NOTE
A July 2011 room details added - porch windows to side views



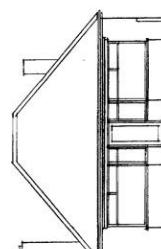
SIDE VIEW TO NO.2



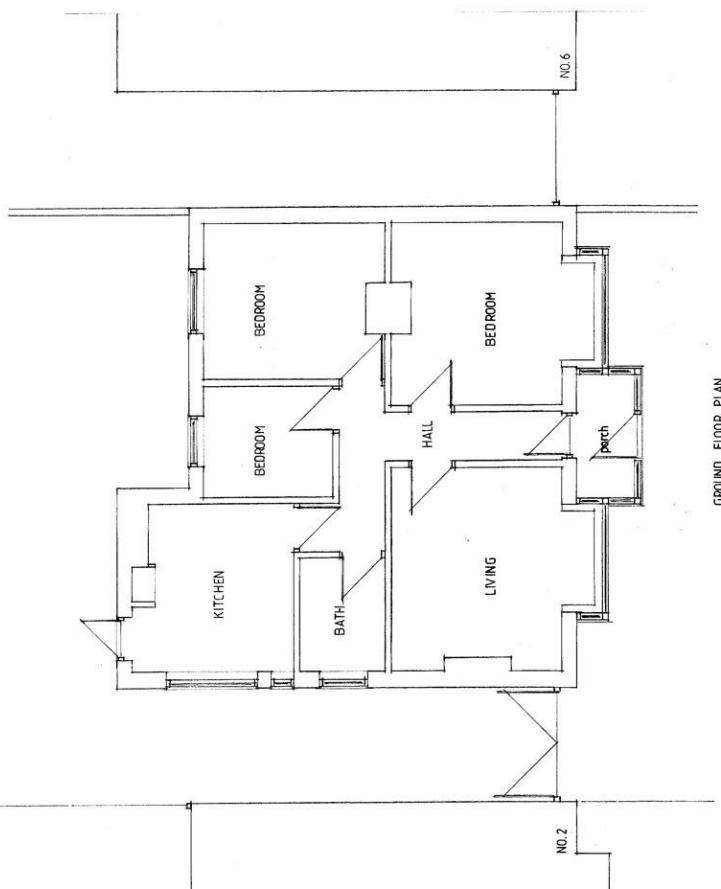
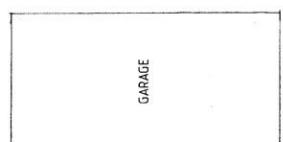
REAR VIEW



SIDE VIEW TO NO.6



FRONT VIEW



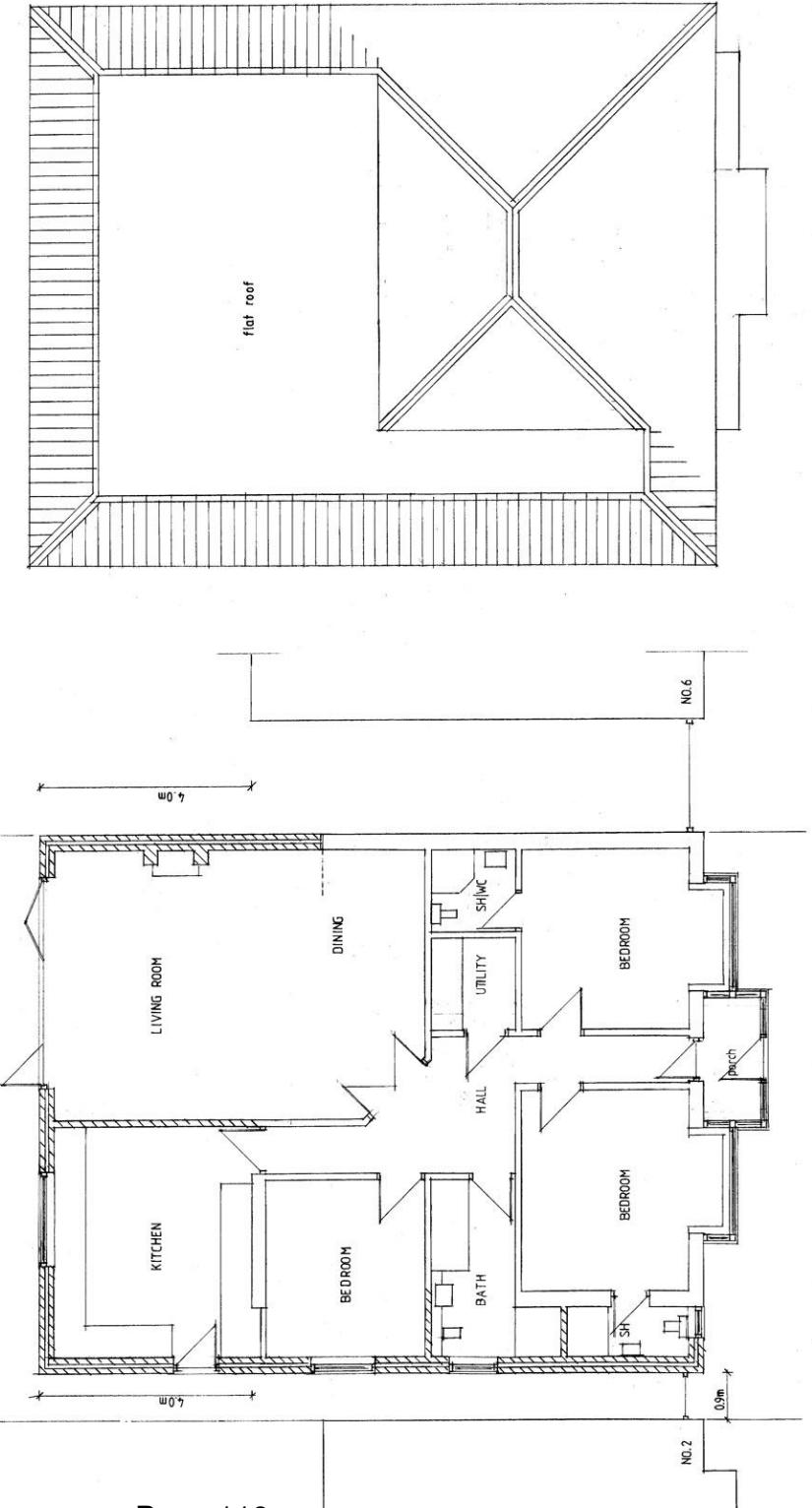
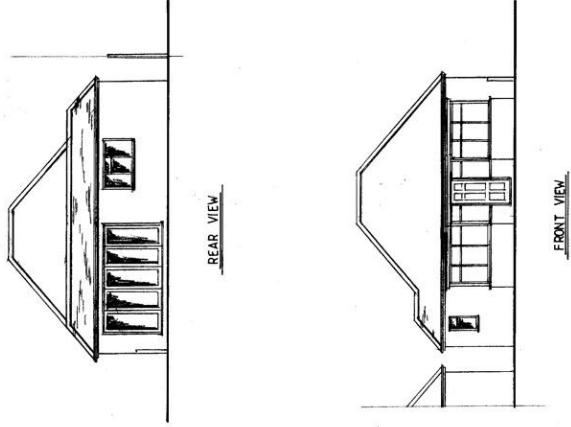
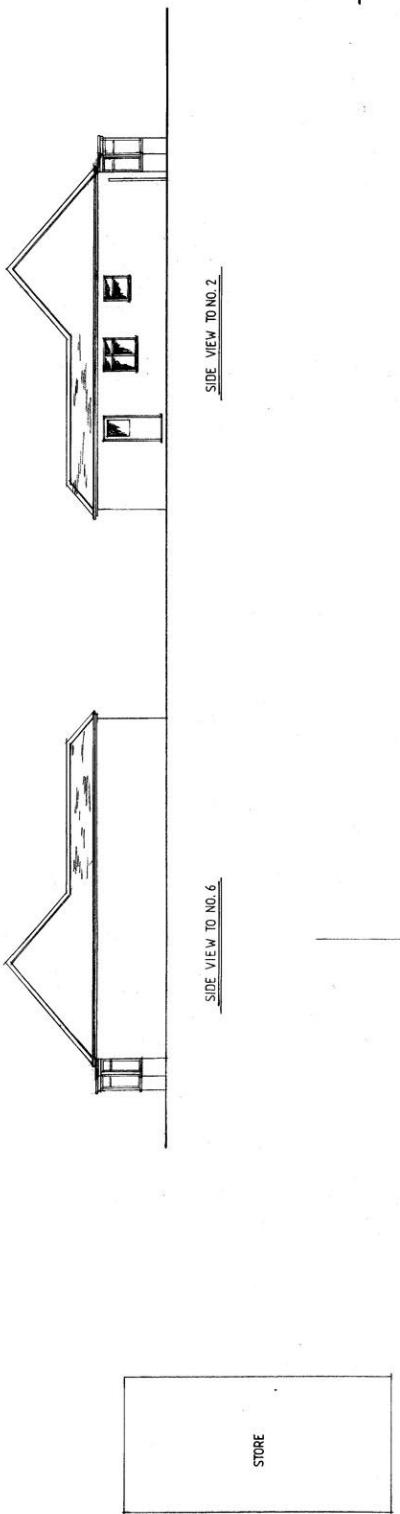
Church Gardens, Church Hill, Hatherfield, Middlesex UB9 6DU
T: 01895 822488 F: 01895 822488
E: patrck@homeplans.com

MR M. KHURSHEED

PROJECT: 4, HAROLD AVENUE
HAYES UB3 4QN
TITLE: EXISTING BUILDING
PLANS & F.ELEVATIONS
DATE: JUNE 2011

DRG NO: 1004.11
A
1:50 (1:100 AT 1:1)
SCALE:
DRAWN:
DRAFTED:
CLERK:

REVISION	DATE	NOTE
A	July 11	design amended
B	July 11	porch windbreak to bed front



homeplans

P. J. Hayes
Architect

Church Gardens, Church Hill, Harefield, Middlesex UB9 6DU
T: 01895 822488 F: 01895 822488
E: patrick@homeplans@btconnect.com

MR M KHURSHEED

PROJECT: 4 HAROLD AVENUE

CLIENT: HAYES UB9 4GW

TITLE: DESIGN PROPOSAL

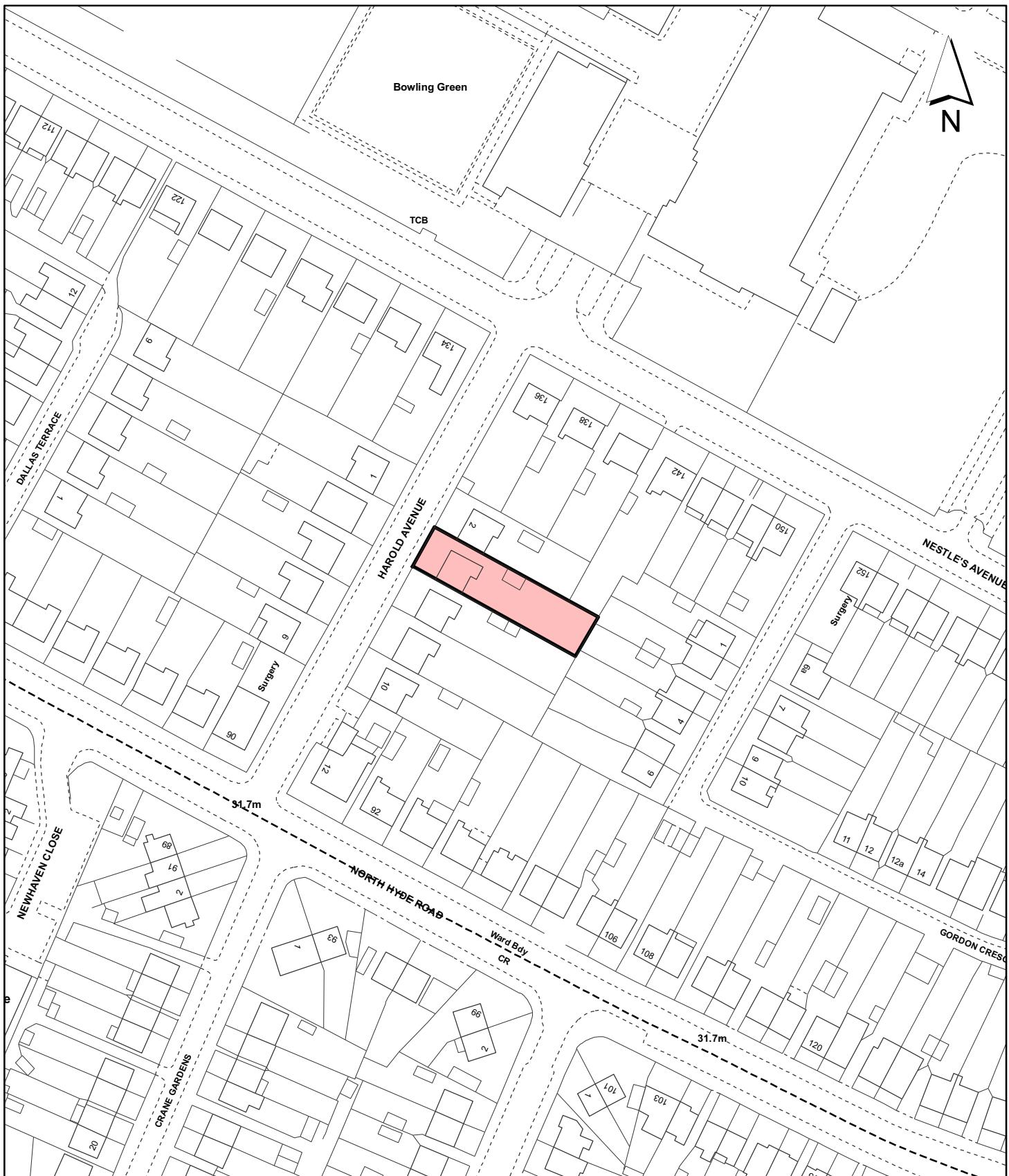
DATE: JULY 2011

SCALE: 1:50 1:100 AT A1

DRG NO: 1614 1/4

A B

DRAWN: 0/0



Notes

 Site boundary

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Site Address

**4 Harold Avenue
Hayes**

**LONDON BOROUGH
OF HILLINGDON**

Planning,
Environment, Education
& Community Services
Civic Centre, Uxbridge, Middx. UB8 1UW
Telephone No.: Uxbridge 250111

Planning Application Ref:

67940/APP/2011/1780

Scale

1:1,250

Planning Committee

Central and South

Date

**August
2011**



HILLINGDON
LONDON

Report of the Head of Planning & Enforcement Services

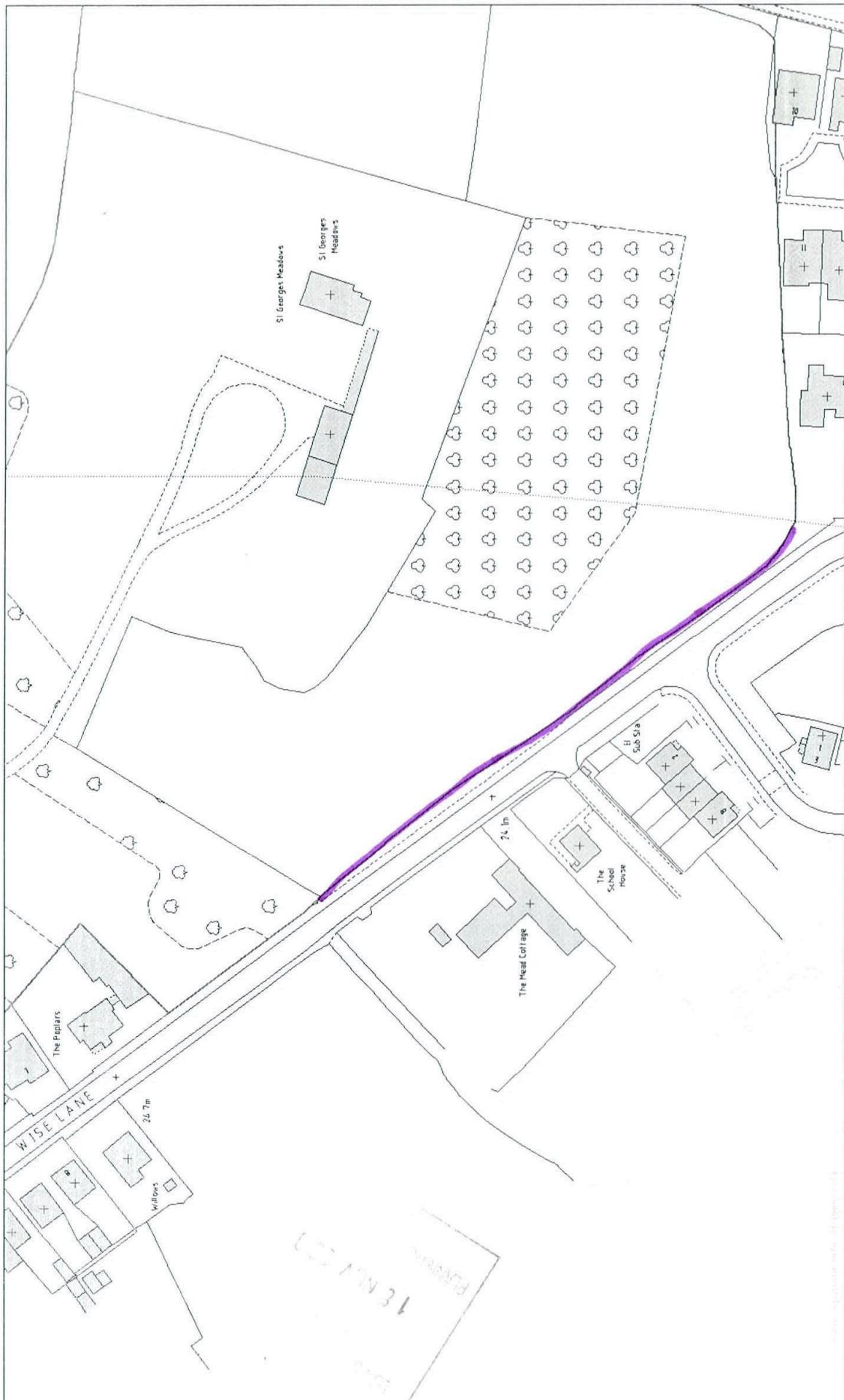
Address ST GEORGES MEADOW MILL ROAD WEST DRAYTON

Development: Installation of a 1.85m high mesh boundary fence with associated soft landscaping.

LBH Ref Nos: 33658/APP/2010/2653

Date Plans Received: 18/11/2010 **Date(s) of Amendment(s):** 18/11/2010

Date Application Valid: 29/11/2010 03/05/2011



Title: Location of fence line
onto Wise Lane
November 2010

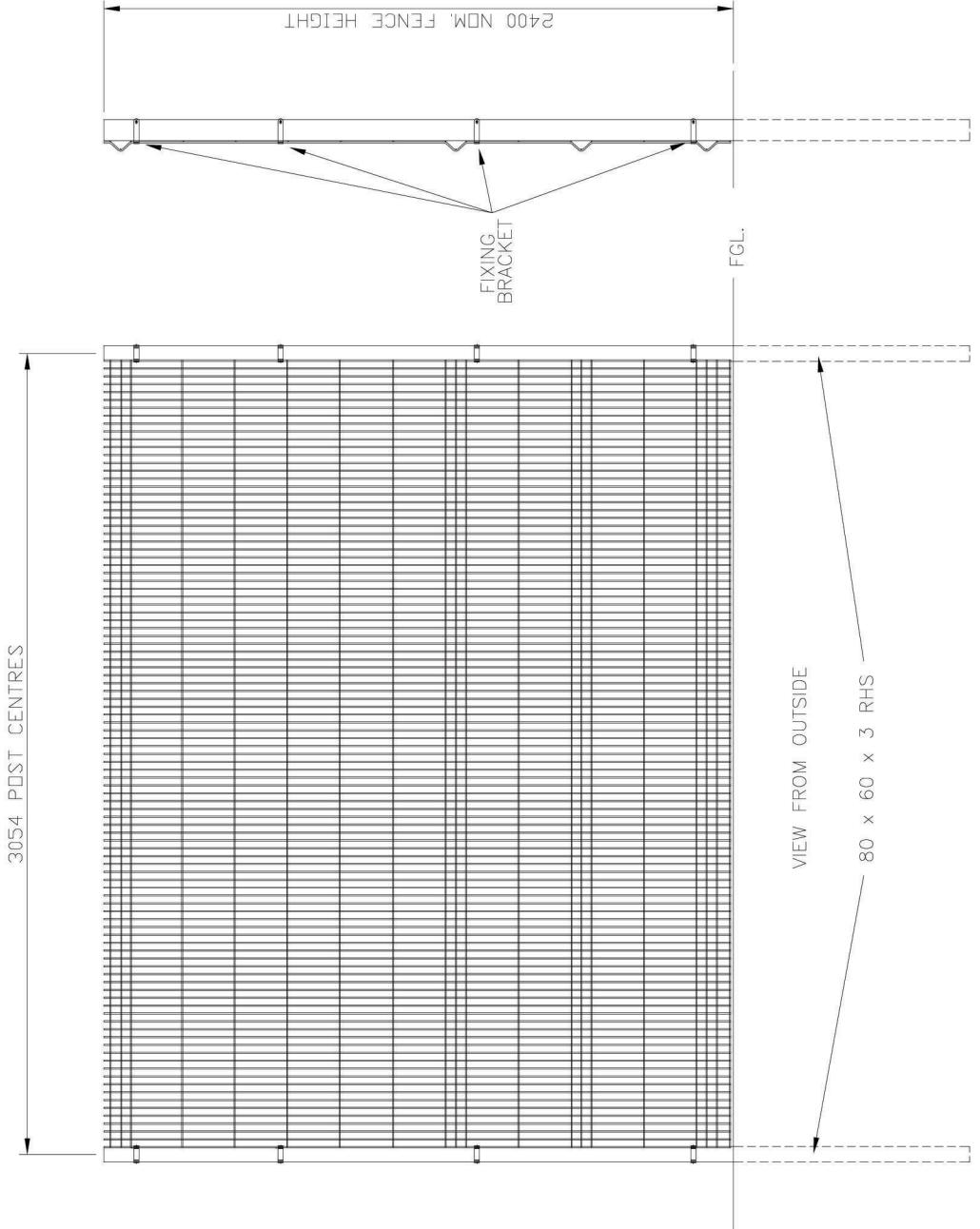
THE NATIONAL TRUST
THAMES & SOLENT
REGION

Scale 1/1250
Date 2/11/2010
Centre = 505729 E 178974 N

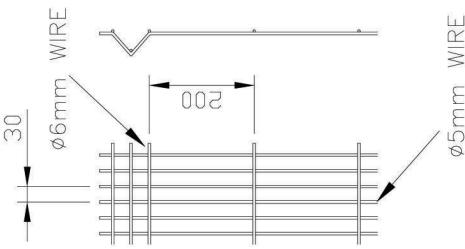


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IF IN DOUBT ASK



FIXING BRACKET DETAILS



φ5mm WIRE MESH DETAILS

Jacksons
FINE FENCING

Stowting Common
Near Ashford,
KENT. TN25 6BN
Telephone : 01233 750393
Fax: 01233 750403
Int. Tel : +44 (0) 1233 750393

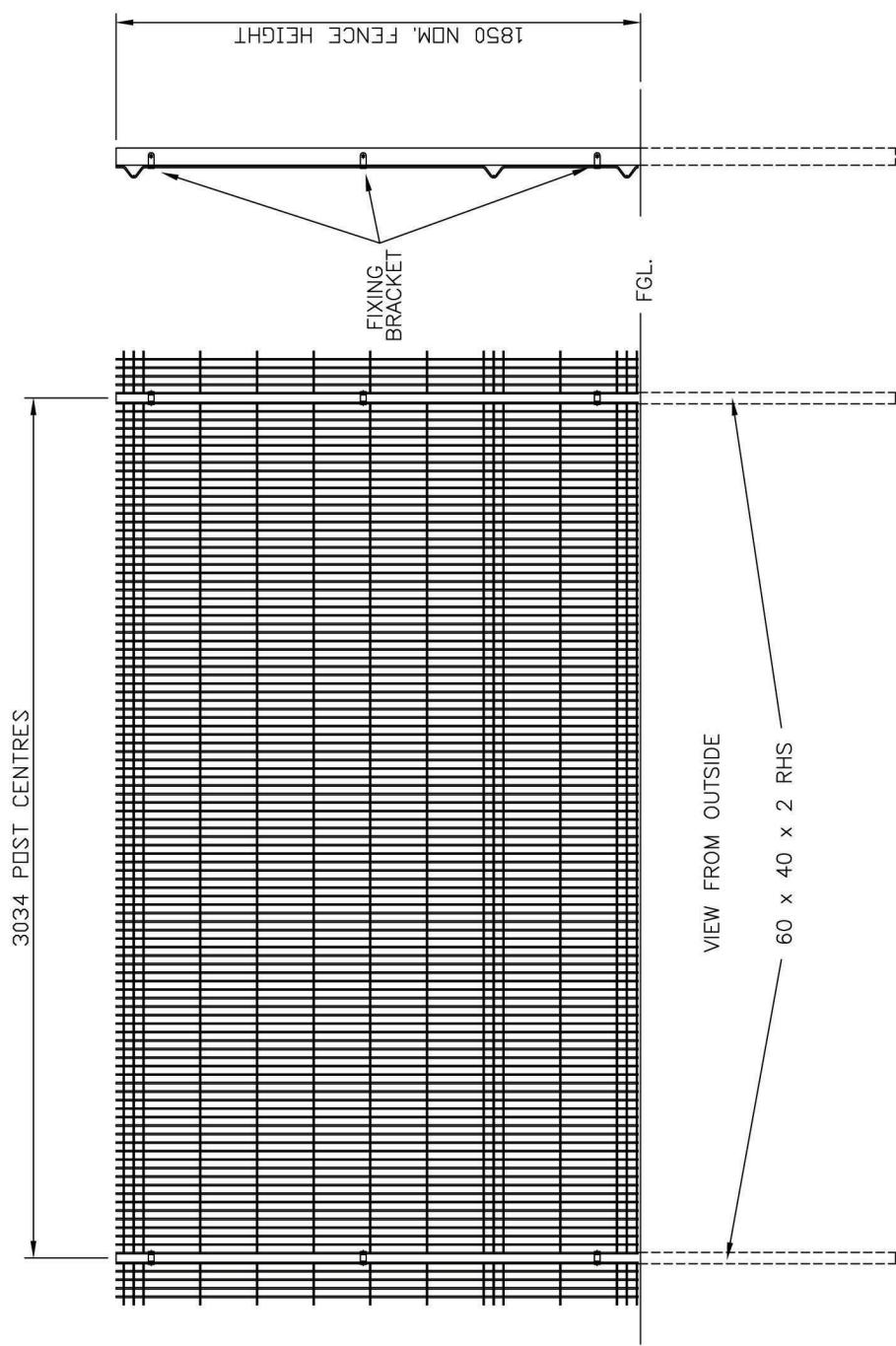
This Drawing Is The Property Of H.S. Jackson & Son (Fencing) Ltd.
And May Not Be Copied Or Reproduced In Any Way Without Prior Written Permission.

SALES DRAWING FOR 2.4mH
EUROGUARD EXTRA FENCING

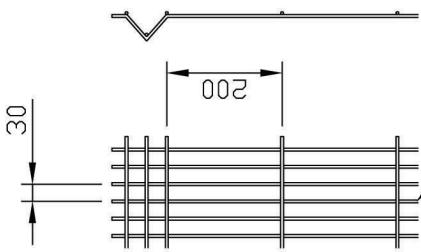
Drawn	S.Leeper	TITLE	
Date	19/06/06	SALES DRAWING FOR 2.4mH EUROGUARD EXTRA FENCING	
Checked	CUSTOMER		
Size	Scale	1:20	Drawing No.
A3	U.O.S	ACK No.	J6/01059

Sheet 4 of 4

DO NOT SCALE – IF IN DOUBT ASK



FIXING BRACKET DETAILS



MESH DETAILS

Ø5mm WIRE
EUROGUARD EXTRA FENCING

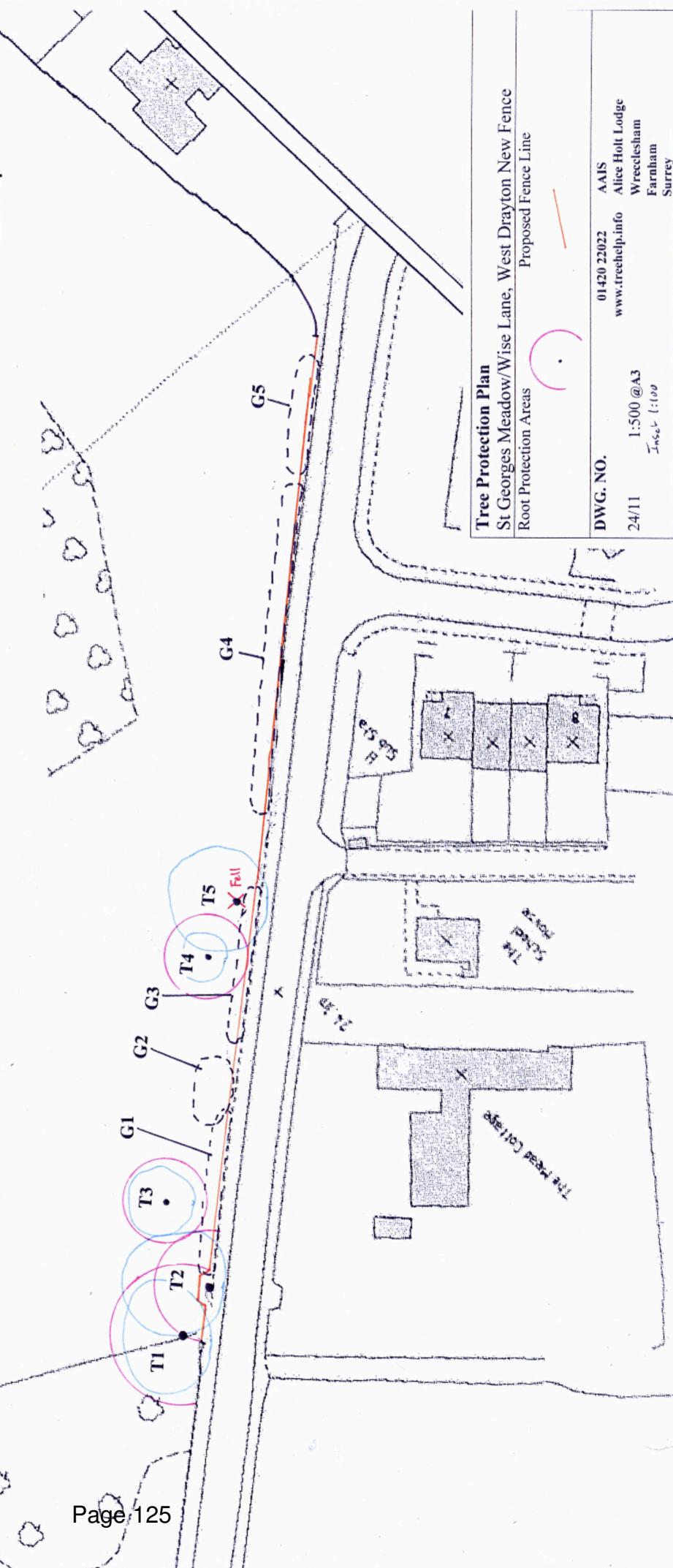
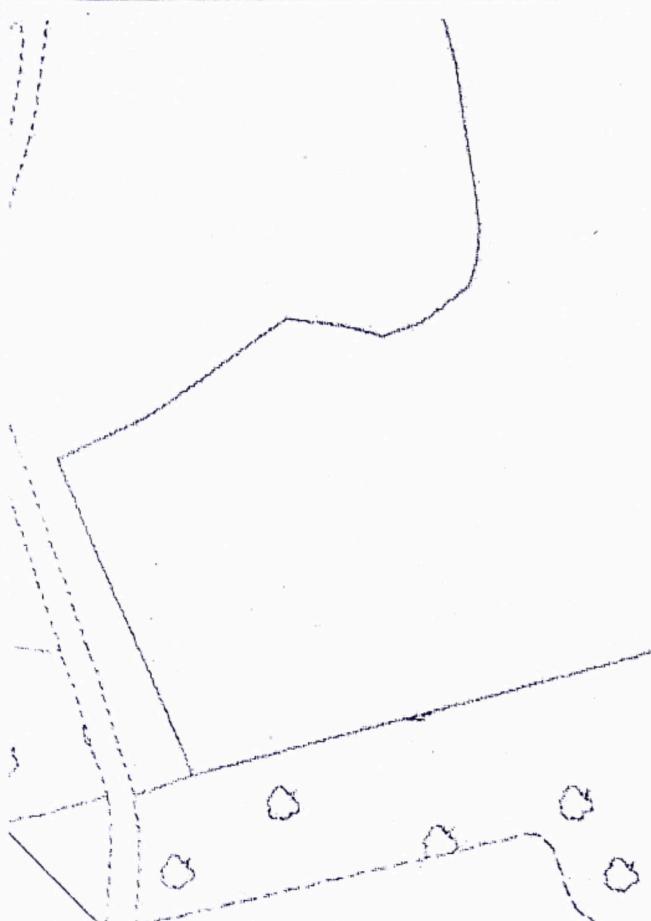
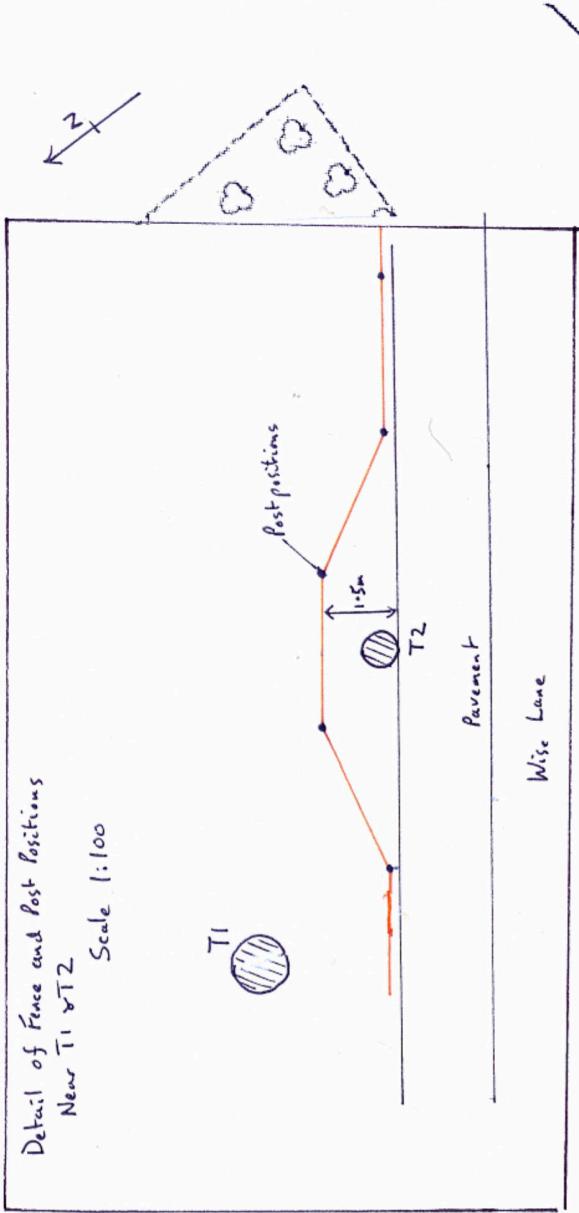
Drawing No.
J6/01059
Sheet 2 of 4

Jacksons
FINE FENCING

Stowting Common
Near Ashford,
KENT. TN25 6BN
Telephone : 01233 750393
Fax: 01233 750403
Int. Tel : +44 (0)1233 750393

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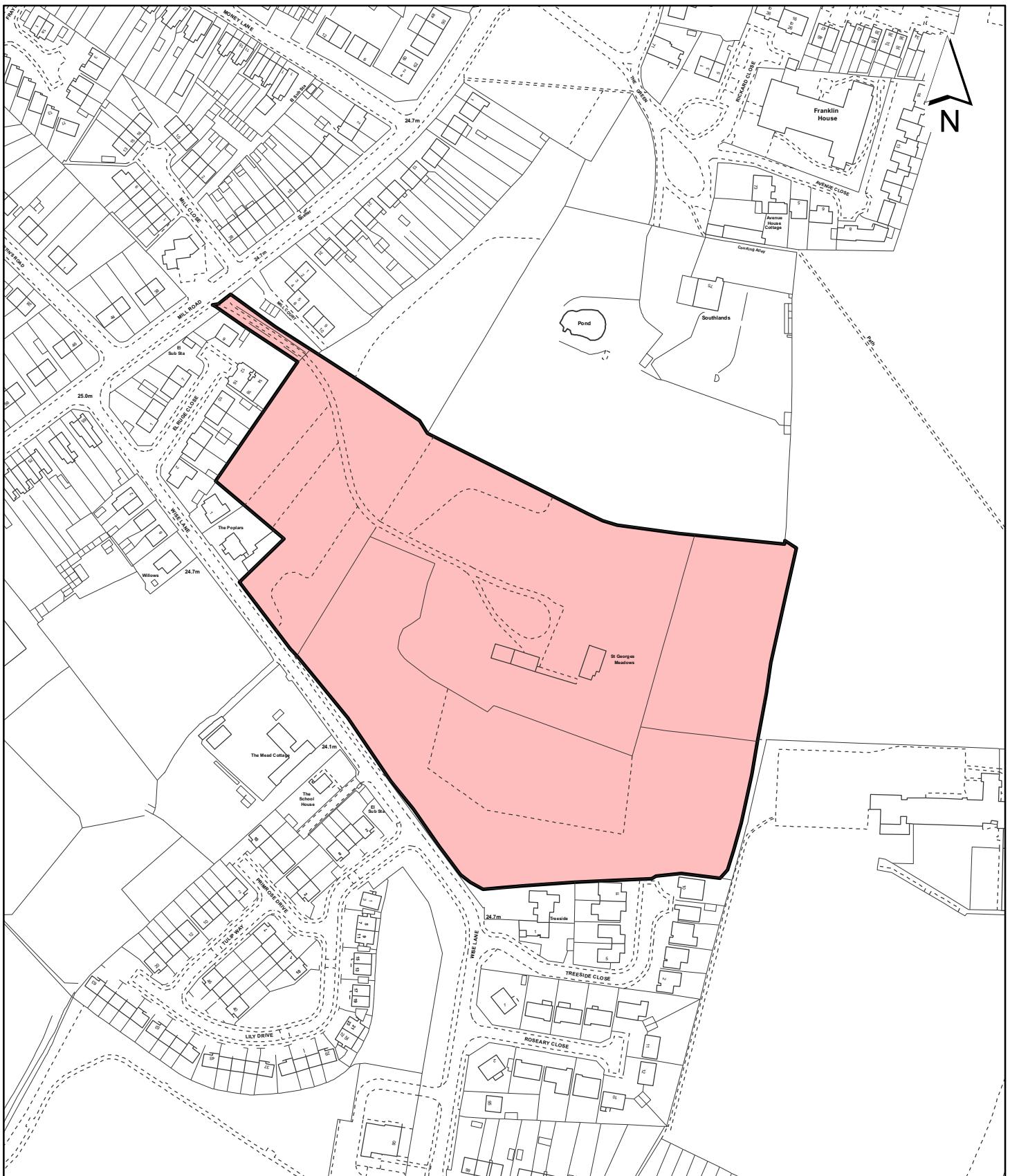
Detail of Fence and Post Positions
Near T1 & T2
Scale 1:100



Tree Protection Plan
St Georges Meadow/Wise Lane, West Drayton New Fence
Root Protection Areas
Proposed Fence Line

DWG. NO. AAI5
24/11 1:500 @A3
Scale 1:100

01490 220222
www.treehelp.info
Alice Holt Lodge
Wrecclesham
Farnham
Surrey



Notes

 Site boundary

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Site Address

**St Georges Meadow
Mill Road
West Drayton**

**LONDON BOROUGH
OF HILLINGDON**
Planning,
Environment, Education
& Community Services
Civic Centre, Uxbridge, Middx. UB8 1UW
Telephone No.: Uxbridge 250111

Planning Application Ref:

33658/APP/2010/2653

Scale

1:2,500

Planning Committee

Central and South

Date

**August
2011**



HILLINGDON
LONDON

Report of the Head of Planning & Enforcement Services

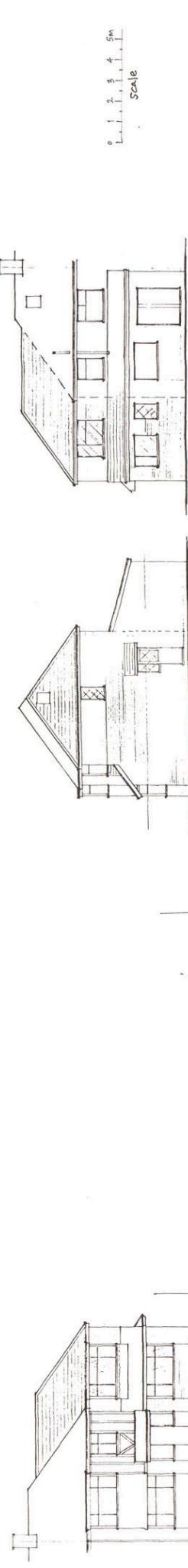
Address 62A BROOKSIDE ROAD HAYES

Development: Conversion of existing dwelling to 1 two-bedroom and 1 three-bedroom dwellings.

LBH Ref Nos: 22476/APP/2010/2879

Date Plans Received: 13/12/2010 **Date(s) of Amendment(s):** 13/12/2010

Date Application Valid: 23/12/2010 23/12/2010



0 1 2 3 4 5m
Scale

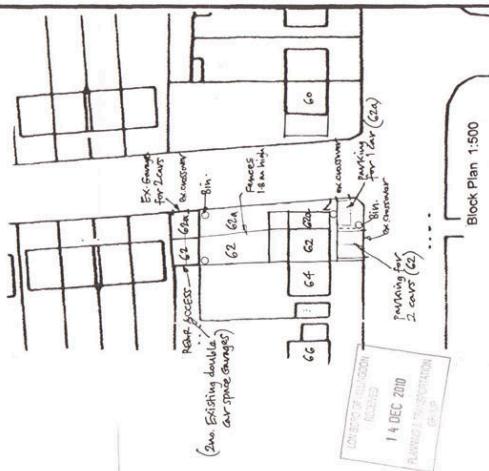
1:100 Rear Elevation

Side Elevation

Front Elevation 1:100

Change of use:
Exhibition as shown approved
22/05/2005 / APP / 633
to be converted into 1 No.
two bedroom house
following appeal
APP / R5510 / A / 07 / 2048307.

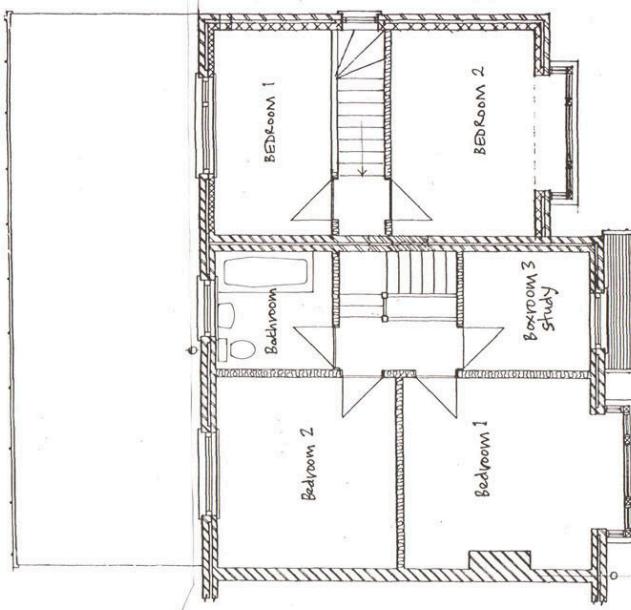
2no. cycle spaces provided in each Garage = 4 no. total



Block Plan 1:500
Project: Design
Date: 01/01/2010

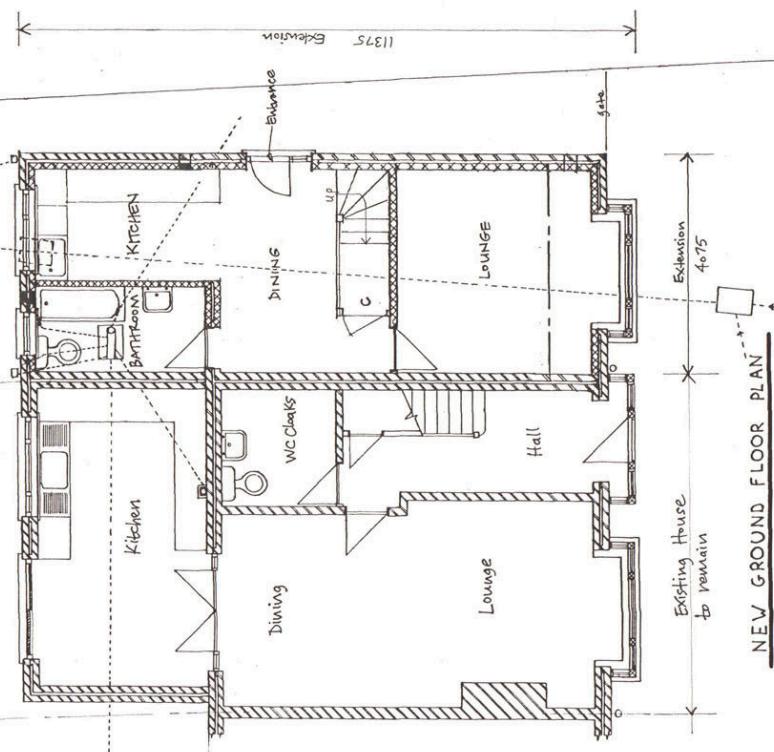
PP-01319448

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the architect or designer or the owner. ©
Mark Baldwin (MBAC) Architectural Consultant
Client: Mr. P. Brat.
Project: 62 BROOKSIDE CLOSE,
HATFIELD HERTFORDSHIRE SG13 8PL
Description: CONVERSION 2-STOREY SIDE
EXTENSION TO TWO-BED. HOUSE
Scale: 1: 50 & 1: 100 Date: Dec 2010
Project No: MB / 1872 / 1
Page 128



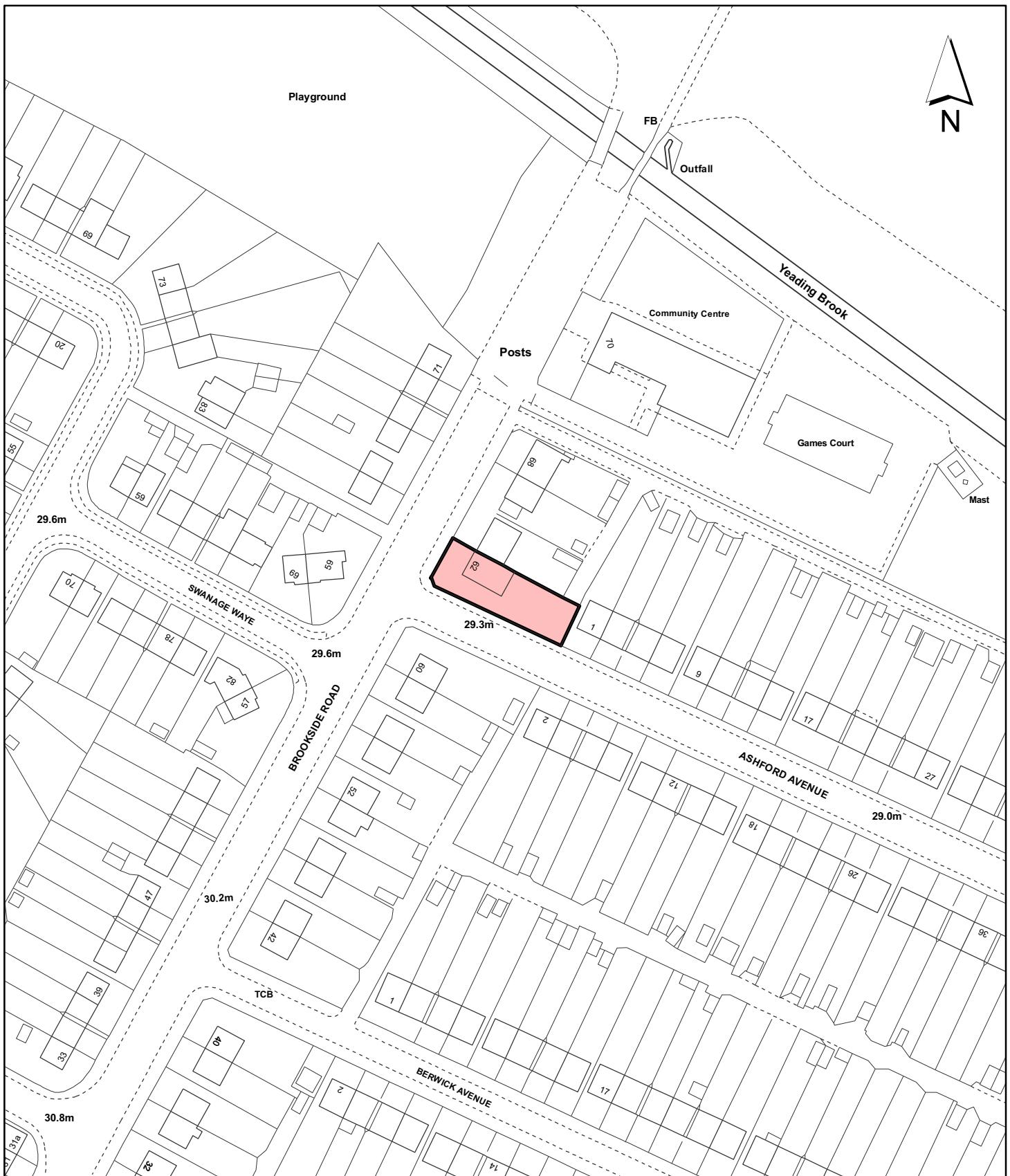
NEW FIRST FLOOR PLAN

0 1 2 3m
Scale



NEW GROUND FLOOR PLAN

3bed
ext-housefa = 10.5 + 7 x 5.7m = 57m²
Floor Area = 10.5 + 6.3 x 3.8m = 53.84m² = 62.5m²
Availabilty = 5 x 12.5 = 62.5m²
3bed ex house = 6 x 12.5 = 75m²
Parking 1 space front + 2 in Garage
Ex-house 2 spaces front + 2 in Garage.



Notes

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Site Address

**62A Brookside Road
Hayes**

**LONDON BOROUGH
OF HILLINGDON**
Planning,
Environment, Education
& Community Services
Civic Centre, Uxbridge, Middx. UB8 1UW
Telephone No.: Uxbridge 250111

Planning Application Ref:

22476/APP/2010/2879

Scale

1:1,250

Planning Committee

Central and South

Date

**August
2011**



HILLINGDON
LONDON

Report of the Head of Planning & Enforcement Services

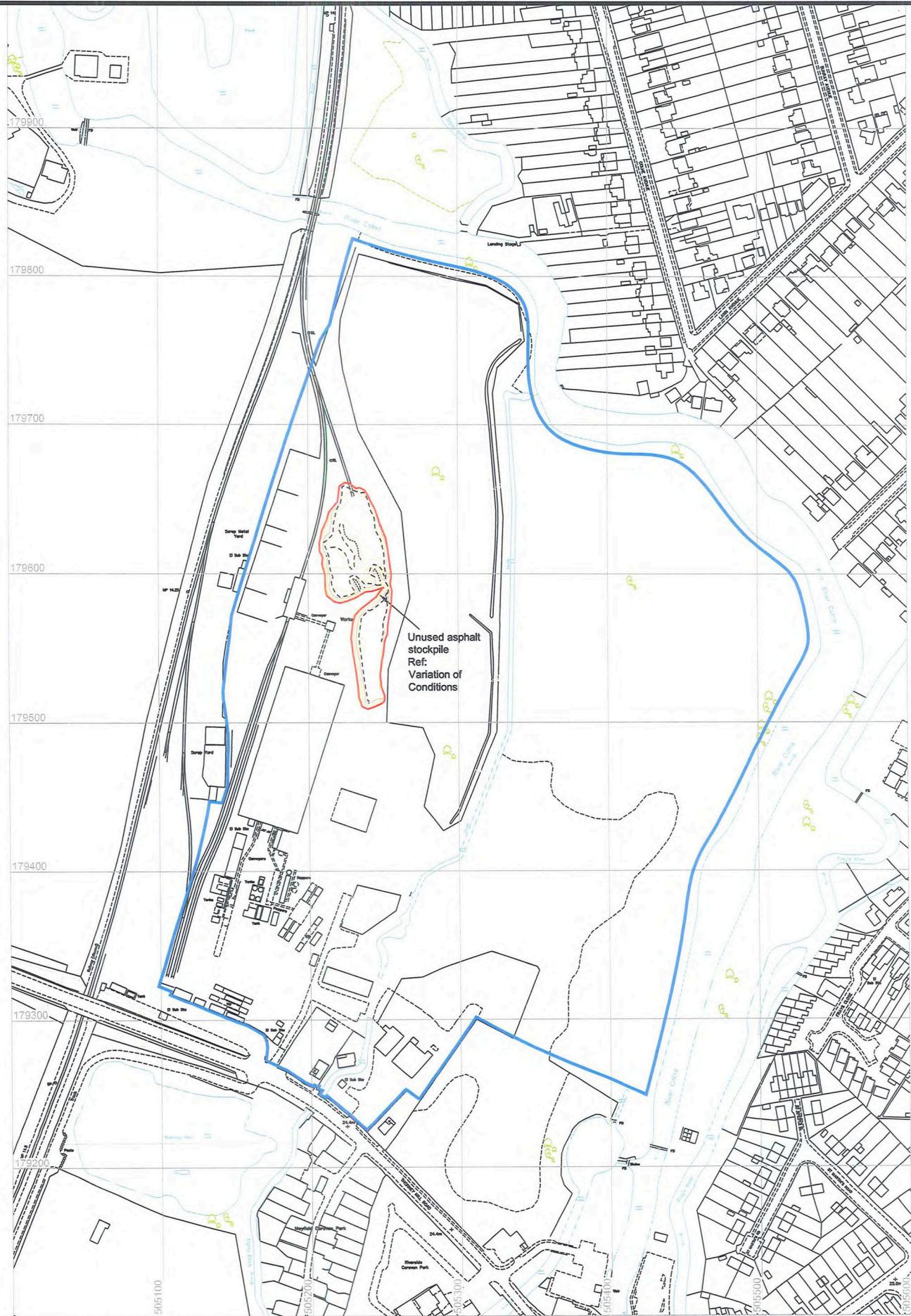
Address BUCKINGHAMSHIRE COUNTY COUNCIL OUTBOROUGH MIDDLESEX

Development: Vary conditions 2 and 11 of planning permission SBD/8207/96 in order to import no more than 20,000 tonnes of material for recycling and to allow vehicles to unload unused/reject asphalt between 6am to 10pm Monday to Friday and 7am to 6pm Saturday and Sunday at Aggregate Industries UK Limited, Thorney Mill Road, Iver, Slough. (Consultation by Buckinghamshire County Council)

LBH Ref Nos: 39707/APP/2011/1988

Date Plans Received: 15/08/2011 **Date(s) of Amendment(s):**

Date Application Valid: 15/08/2011



Site Name

WEST DRAYTON

Drawing Title

LOCATION PLAN

SCALE: 1:2500

DRAWING No.

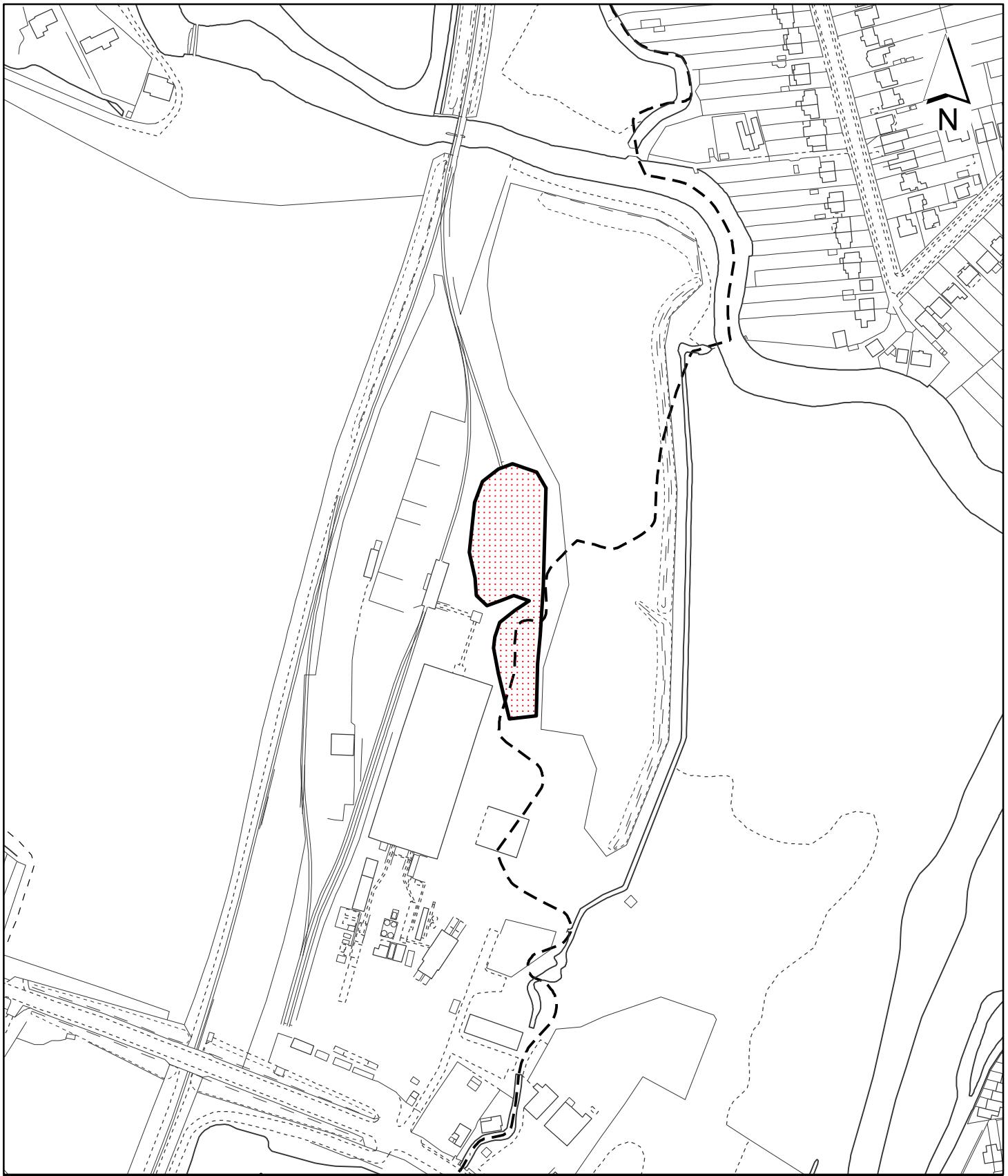
DATE: Apr.09

9080/34b

By: PJA

Chk:

SW

**Notes**

 Site boundary

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Site Address

Aggregate Industries UK Limited
Thorney Mill Road
Iver, Slough

LONDON BOROUGH OF HILLINGDON
Planning,
Environment, Education & Community Services
Civic Centre, Uxbridge, Middx. UB8 1UW
Telephone No.: Uxbridge 250111

Planning Application Ref:

39707/APP/2011/1988

Scale

1:3,000

Planning Committee

Central and South

Date

August 2011



HILLINGDON
LONDON